



AGENDA

REGULAR COUNCIL MEETING
Council Chambers
Friday, August 7th, 2020 – 1:00 p.m.

NOTE: A Closed Session will commence at the end of the meeting.

1. **Call the Meeting to Order**
2. **Approval of Agenda**
3. **Declaration of Pecuniary Interest and the General Nature Thereof**
4. **Delegations/Presentations**
 - (a) **Delegations**
 - (i) **Ryan Campese**, Youth Unlimited Director re: [Support for programming](#)
 - (b) **Presentations - Nil**
5. **Minutes**
 - (a) **Adoption of Minutes**
 - (i) **Regular Meeting**, [Draft Minutes – July 17th, 2020](#)
 - (b) **Receive Committee Minutes**
6. **Committee Resolutions for Consideration - Nil**
7. **Public Meetings (Pursuant to the *Planning Act*) - Nil**
8. **Public Meetings (Pursuant to the *Municipal Act*) - Nil**
9. **Unfinished Business – Nil**
10. **Reports and By-laws**
 - (a) **Building** - Nil
 - (b) **Planning** - Nil
 - (c) **Operations**
 - (i) **Transfer Station Report –** [for the period July 10, 2020 to July 28, 2020](#)
 - (ii) **Report and Resolution re:** [McManus Beach](#)
 - (iii) **Report and Resolution re:** [All Way Stop, Rain Lake and King William Street Intersection](#)
 - (iv) **Report and Resolution re:** [Surface Treatment Tender Approval](#)
 - (v) **Resolution re:** [Supervisor Training via OGRA](#)
 - (d) **Administration**
 - (i) **Report and Resolution re:** [Council Meetings - Virtual versus In-person](#)
 - (ii) **Report and Resolution re:** [Proxy Voting for Municipal Council Members](#)
 - (iii) **By-law Enforcement** [Report to Council](#)
 - (iv) **Report and** Resolution re: [Possible Broadband Project](#)
 - (e) **Treasury**
 - (i) **Report and Resolution re:** [Payment Register](#)
 - (f) **Fire and Emergency Services**

(i) **Report re:** [Fire Chief, Fire Department Report for Regular Council Meeting](#)
on August 7, 2020

(ii) **Request for** [Training](#)

(g) Facilities and Buildings

(i) **Sonya Clelland, Project Manager Englobe Corp. - North Bay re:**
[Draft Building Condition Assessment for the Municipal Office Building](#)

(ii) **Jean Laroque, Architect, OAA, OAQ, MRAIC, Leed AP BD+C re:**
[Building Condition Assessment for the Municipal Office Building](#)

(h) Council Presentations

(i) **Mayor Ballantyne discussion re:** Public Access to Town Office

11. Correspondence

(a) Action Items

(i) **Town of Amherstburg re:** [Request for support for Investing in Canada Infrastructure Program Grant](#)

(ii) **Town of Amherstburg re:** [Request for support for Long Term Care Home Improvements](#)

(iii) **Susan Church, Executive Director, Blue Sky Economic Growth Corporation re:** [Regional Broadband Project Update, request to reiterate support](#)

(iv) **Lake of Bays re:** [Request for support in Principle, for Muskoka Parry Sound Riding Cooperative Broadband Initiative](#)

(v) **Town of Parry Sound re:** [Request for support for Oversight Boards for OPP Detachments](#)

(vi) **Town of Gore Bay re:** [Request for support of OPP Diversity Training](#)

(b) Information Items - Nil

12. Other Business - Nil

13. Closed Session

Council will enter into a Closed Session for discussion regarding:

(a) Personal matters about an identifiable individual, including municipal or local board employees

14. Business Arising from Closed Session

15. Confirming By-Law

By-Law 2020-xx being a By-law to confirm the proceedings of Council at its Regular Meeting held on August 7th, 2020.

16. Adjournment



June 8, 2020

Dear Friends and Family of Ryan Campese:

I am thrilled to announce that we have invited Ryan Campese to join our Youth Unlimited staff team as Community Director in Novar!

Youth Unlimited™ | YFC Highlands operates as a regional chapter of Youth for Christ, with Orangeville as the administrative center for 10 locations serving youth in Alliston, Centre Wellington, Collingwood, Erin/Hillsburgh, Grand Valley, Guelph, Huntsville, Novar, Orangeville, and Shelburne.

Ryan brings an intimate knowledge of working with today's youth through his current experience as a volunteer in our Novar ministry and he deeply shares our passion to see youth reach their full life potential. His personal journey inspires him to want to help youth identify and make wise choices and his carpentry and business experience will also be a point of connection. We are blessed to have Ryan join our team and are excited to see what God has in store for the future!

Youth Unlimited is a charitable organization that is funded by the donations of individuals and groups who have chosen to partner with us. All staff are required to raise some or all of the funds needed to cover the cost of salary, training and ministry-related expenses.

Will you prayerfully consider becoming part of Ryan's support team? Whether you can commit to pray for Ryan or to partner in monthly or annual financial support or both, we are grateful. All donations to Ryan's ministry are tax deductible and donors will receive a registered tax receipt at the year end.

Thank you for your serious consideration of this request. If you have any questions, please do not hesitate to contact me.

Gratefully,

A handwritten signature in blue ink, appearing to read "Dave Armstrong".

Dave Armstrong
Executive Director | darmstrong@highlandsyfc.com

Transforming a generation...one life at a time

Ryan Campese Youth Unlimited™ | YFC Highlands - Novar Community Director
rcampese@highlandsyfc.com 18 Brunel Rd. Huntsville, ON P1H 1P1

Dear Friend in Christ,

I am writing to invite you to partner with me as I work to bridge the gap between our youth, our churches, and our community. During the past years, cell phones, computers and busy families have caused a breakdown in personal connections. Our youth have lost the opportunities to reach out to the needs of others in loving, kind ways that renew the soul, and they have lost the ability to give to their communities in a way that helps the vulnerable members of society. There is a great need for personal connection that has been lost in this digital world. God has called me to live in the 'North' to help provide a healthy atmosphere where the youth see the love of Christ in action and learn how to be supportive to each other as young adults. These things are possible as they share and grow with their community and beyond.

In order for this to happen, there has to be a plan. I want to tell you what God has planned for me. My name is Ryan Campese and I have been working with the youth of Novar for the past two years. I am thrilled to say that our Mayor for Perry Township is a strong supporter of the work we are doing and is full of hope for a continuing program in the area.

There are 20 youth that have joined our group and they are excited. We have already had a successful mission trip to Toronto to help with the needs of the homeless community and our new recruits are eager to go on the second mission trip to learn from the experience of their friends. This is part of our Project Serve program; a series of weekend mission trips which eventually lead the youth to help in Puerto Rico as a mission team.

To prepare for work experience, we are starting a carpentry handyman class for the youth. In it we would learn to build sheds, dog houses and other projects. We also have Christian movie nights and Bible studies with great discussions. Our drop-in Mondays are well attended in which anyone is welcome to come and have fun, play games and connect for a stimulating conversation under good supervision. We are in the process of expanding the drop-in program to Burks Falls St. Andrew's Presbyterian Church and hope to get into Almaguin High School as well. Just being the hands and feet of Jesus.

I am sure you wonder what my motivation is in doing this. Let me tell you about my journey. I have lived in Huntsville all of my life. I am very familiar with the whole area, and played hockey on the rink in Novar and surrounding areas for many years. I went to High School and started to make poor choices. Although I had good parents, the peer pressure influenced me and I started to spiral down. I started to smoke...first cigarettes, then weed which led to a time where I used every drug that was available. I was out of control and had to sell drugs to pay for my habit. In turn, this gave me lots of money, and money is power. Power to abuse drugs, women and myself.

In 2006 I started a roofing company which was very successful, but in 2015 I ran into a bunch of bad luck with non-paying customers. I was forced to close my company. I was losing my mind, and everything I had. God started to put people in my life to help me so that he could save my life. A man asked me to do his roof for him and we started to chat. I felt safe like I hadn't in a long time. He invited me to his church. Then he tells me he is the pastor, and he really would like me to

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Youth Unlimited™

YFC NOVAR

come so we could continue our talk. So I said sure. When I went it was like he was talking right to me, even though he said he didn't do that, he had already prepared his sermon. It spoke to me in a powerful way. My life was changed, renewed. My past sins, forgiven.

So now that I am on fire for the Lord, and my life has been changed for the Glory of God, I want to help the youth of the North, and be there for them, and teach them what I learned. I want them to see and hear that when you make the wrong choices in life those choices have bad consequences, but good choices have good consequences. I know that God is only Love, that his Son sacrificed his life for me, and for all of you. He changed my life and saved me from making wrong choices. I believe He wants to use me to show the youth that choosing Him has great consequences. He is our loving Father and will forgive us for making sinful choices but encourages us to make good decisions.

I am honoured and nervous, to stand out in faith. To be there for the KIDS! But God has called me to this, and I am trusting in Him. I am hopeful for the help of parents and the community, all coming together and partnering with me, to help with financial goals and volunteer support, because this is a 'Faith Based Position'. *I Need To Trust God, He Will Provide*, for me to, in turn, provide interactive programs for the youth. Your financial support would be very kind and greatly appreciated, to make this faith based youth outreach happen. I believe all of us here in the North can change lives, and get the kids off their phones, to interact with each other, and help in the community, and to do mission work. Why? Because God said "help thy neighbour".

In order for this to happen it's a huge step out in my faith in Christ but also in the faith of each and every community member to come on board with me to help make this happen. Youth Unlimited™ | YFC Highlands operates under a missionary funding model, meaning all staff are responsible for fundraising the bulk of their salaries. All funds are partnerships raised by individuals and businesses in the community. I would love for you to partner with me in this great work, either through committing to regular monthly support or through a one-time donation. As you can imagine, I am eager to jump full on into this ministry work! Your financial partnership with me will allow me to do just that. I will also be looking for people that feel they have a calling from the Lord to help, for as the Lord says in 1 Timothy 6:18-19: "Tell them to use their money to do good. They should be rich in good works and generous to those in need, always being ready to share with others. By doing this they will be storing up their treasure as a good foundation for the future so that they may experience true life."

I am really looking forward to returning hope to our youth, for teaching them to reach out and help someone just because they want to, for encouraging them to talk and share, and helping them to point their lives to Christ. With God's direction, protection, wisdom and the help of all of you here in the North, we can accomplish this. Please consider partnering with me, whether with time, talents or treasure. From behalf of Youth Unlimited and myself, we thank you for your time.

John 3:16 says "For God so loved the world, that he gave his one and only son, so that whoever believes will have eternal life and never perish."

Come walk with me, as I would like to tell you what happened when Jesus showed up in my workshop....

Ryan Campese

Transforming a generation...one life at a time



The Corporation of the Town of Kearney

8 Main Street Box 38 Kearney ON P0A 1M0

MINUTES

REGULAR COUNCIL MEETING

VIA Remote Access

Council Chambers

Friday, July 17th, 2020

1:00 p.m.

Council Members Present: Mayor Carol Ballantyne
Councillors: Cheryl Philip, Mike Rickward, Liz Stermsek and Paul Ziraldo

Staff Present: Brenda J. Fraser, CAO|Clerk|Treasurer
Keven Beaucage, Deputy Clerk, Deputy Treasurer
Ross Gattozzi, Operations Manager
Linda Moyer, Planning Technician
Cindy Filmore, Office Assistant

1. **Call the Meeting to Order**

Res. No. 1/17/07/2020 Paul Ziraldo, Liz Stermsek

BE IT RESOLVED that the Regular Council Meeting of the Corporation of the Town of Kearney on July 17th, 2020 be declared open and called to order at 1:00 p.m. **CARRIED**

2. **Approval of Agenda**

Res. No. 2/17/07/2020 Cheryl Philip, Mike Rickward

BE IT RESOLVED that the Agenda of the Regular Council Meeting of the Corporation of the Town of Kearney on June 26th, 2020 be adopted as amended.

ADD 10(d)(v) Resolution re: Support of health Unit mandated face coverings
DEFER 10(f)(v) Resolution re: Training Course CARRIED

3. **Declaration of Pecuniary Interest and the General Nature Thereof – None noted.**

4. **Delegations/Presentations**

(a) **Delegations**

Ted Williams, E. J. Williams Surveying Limited re: Consent Applications B-007/20; B-008/20 and B-009/20 (LANGMAID)

Mr. Williams, in addition to his submitted information, provided a brief summary of the applications.

(b) **Presentations - Nil**

5. **Minutes**

(a) **Adoption of Minutes**

(i) **Regular Meeting, Draft Minutes – June 26th, 2020**

(ii) **Public Meeting, Draft Minutes – June 26th, 2020 (TEETER)**

Res. No. 5(a)(i)-(ii)/17/07/2020 Liz Stermsek, Paul Ziraldo

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney approves the Minutes of the Council Meeting(s) as follows:

(i) **Regular Meeting, Draft Minutes – June 26th, 2020**

(ii) **Public Meeting, Draft Minutes – June 26th, 2020 (TEETER) CARRIED**

(b) **Receive Committee Minutes**

(i) **Muskoka Algonquin Healthcare re: COVID-19 Update, July 3, 2020**

(ii) **North Bay Parry Sound District Health Unit re: Face Coverings**

Res. No. 5(b)(i)-(ii)/17/07/2020 Mike Rickward, Cheryl Philip

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney receive the following Advisory Committee Minutes:

(i) **Muskoka Algonquin Healthcare re: COVID-19 Update, July 3, 2020;**

- 6. Committee Resolutions for Consideration - Nil
- 7. Public Meetings (Pursuant to the *Planning Act*) - Nil
- 8. Public Meetings (Pursuant to the *Municipal Act*) - Nil
- 9. Unfinished Business – Nil

10. Reports and By-laws

(a) Building - Nil

(b) Planning

(i) **Report and Resolution re:** Consent Applications B-007/20, B-008/20 & B-009/20 (LANGMAID)

Res. No. 10(b)(i)/17/07/2020 Liz Stermsek, Mike Rickward

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney recommends approval of consent applications B-007/20, B-008/20 & B-009/20 (LANGMAID) subject to the following conditions:

That payment in lieu of a parkland dedication be paid in accordance with Section 51.1 of the Planning Act;

That a draft reference plan of survey be provided to the Town of Kearney for review prior to registration;

That any deviation of the travelled portion of the road which encroaches onto the subject property be surveyed and deeded to the Municipality.

That four copies of the final reference plan of survey, together with one digital copy, be provided to the Town of Kearney;

That confirmation be received from the Operations Manager that there are no concerns with respect to access to the proposed lots;

That the applicants enter into an agreement with the Town, to be registered on title, to provide notice to any purchaser of the lands that the lots are located in close proximity to agricultural uses. The following wording shall be used in all Agreements of Purchase and Sale:

TAKE NOTICE that this lot is located within an area where agricultural uses are within proximity and as such it may be exposed to impacts typically associated with such a use, including smell. Prior to the construction of a single-family dwelling, the Owner shall be required to demonstrate locational compliance with the Minimum Distance Separation guidelines.

CARRIED

(ii) **Report and Resolution re:** Consent Application B-010/20 (RENAUD)

Res. No. 10(b)(ii)/17/07/2020 Paul Ziraldo, Cheryl Philip

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney recommends approval of consent applications B-010/20 (RENAUD) subject to the following conditions:

That a draft reference plan of survey be provided to the Town of Kearney for review prior to registration;

That four copies of the reference plan of survey be provided to the Town of Kearney.

CARRIED

(iii) **Report and Resolution re:** Consent Agreement B-032/19 & B-033/19 (DEMONTMORENCY)

Res. No. 10(b)(iii)/17/07/2020 Mike Rickward, Paul Ziraldo

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney hereby approves the consent agreement for Applications B-032/19 & B-033/19 (DE MONTMORENCY) between the Corporation of the Town of Kearney and Catherine Patricia De Montmorency.

CARRIED

(iv) **By-law No. 2020-xx re:** To authorize signing of a Consent Agreement (DEMONTMORENCY)

Res. No. 10(b)(iv)/17/07/2020 Cheryl Philip, Mike Rickward

By-law No. 2020-35, Being a By-law to authorize the signing of a Consent Agreement between the Corporation of the Town of Kearney and Catherine Patricia De Montmorency, be read a first, second and third time and numbered 2020-35 and that the said By-law be signed by the Mayor and Clerk, sealed with the Seal of the

Corporation, and engrossed in the By-law Book.

CARRIED

(c) **Operations**

(i) **Transfer Station Report** – for the period June 19, 2020 to July 7, 2020 – **Report only.**

(ii) **Report and Resolution re: Kearney Boat Ramps**
Res. No. 10(c)(ii)/17/07/2020 Paul Ziraldo, Cheryl Philip

WHEREAS the Council of the Corporation of the Town of Kearney entered into an Agreement (By-law No. 2018-25) with Tulloch Engineering for general engineering services;

AND WHEREAS the agreement outlines the payment of expenses incurred by Tulloch;
NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney approves the revised budget for engineering of the Boat Ramp project as outlined by Chris Stilwell, in the amount of \$5,400. **CARRIED**

(iii) **Resolution re: Hazardous Waste Day**

Res. No. 10(c)(iii)/17/07/2020 Mike Rickward, Liz Stermsek

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney hereby directs Staff to engage the services of Brendar Environmental Inc. for the Municipal Household Hazardous Waste Day Event on Saturday, August 8, 2020, at 149 King William Street, Kearney, from 9 a.m. to 2 p.m.;

AND FURTHER that Staff are authorized to enter into the necessary agreements in this regard. **CARRIED**

(d) **Administration**

(i) **Resolution re: 2019 Consolidated Financial Statements**

Res. No. 10(d)(i)/17/07/2020 Cheryl Philip, Paul Ziraldo

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney has received the 2019 Consolidated Financial Statements and authorizes the publication thereof. **CARRIED**

(ii) **Resolution re: Summer Students**

Res. No. 10(d)(ii)/17/07/2020 Mike Rickward, Cheryl Philip

WHEREAS the Town of Kearney has advertised a summer employment opportunity for students;

NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney approves the hiring of Nathan Sheldon and Brandon Fernandez for the parks and maintenance student positions, for the 2020 season. **CARRIED**

(iii) **Resolution re: Birthday recognition**

Res. No. 10(d)(iii)/17/07/2020 Paul Ziraldo, Liz Stermsek

WHEREAS Council has received a request for Birthday greetings for Rita Hellam who was born July 25, 1930;

NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney authorizes the presentation of a Certificate and flowers in honour of Rita's 90th Birthday. **CARRIED**

(iv) **Resolution re: Portable Sanitation Station Location**

Res. No. 10(d)(iv)/17/07/2020 Liz Stermsek, Mike Rickward

WHEREAS on May 15, 2020 Council supported adding a portable sanitation station to be located at the Firehall;

AND WHEREAS the need for a portable unit at the Kearney Community Centre (KCC) has been identified;

NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney directs that the portable unit placed at the Ball Diamond be relocated to the KCC grounds. **CARRIED**

(v) **Resolution re: Face coverings**

Res. No. 10(d)(v)/17/07/2020 Paul Ziraldo, Cheryl Philip

WHEREAS effective Friday, July 24, 2020, the North Bay Parry Sound District Health Unit will be mandating the use of face coverings while in certain enclosed public spaces;

NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney wholeheartedly supports the use of face coverings in conjunction with physical distancing, hand washing and self-isolation if you have symptoms or have come in close contact with someone with, or suspected to have, COVID-19. **CARRIED**

- (e) **Treasury**
- (i) **Report and Resolution re: Payment Register**
Res. No. 10(e)(i)/17/07/2020 Mike Rickward, Cheryl Philip
BE IT RESOLVED that the Council of the Corporation of the Town of Kearney has received the 'List of Accounts' and has no objections to be noted with regard to Cheques #29941 to #29967 in the total amount of \$359,585.86. **CARRIED**
- (f) **Fire and Emergency Services**
- (i) **Report re: Fire Chief, Fire Department Report for Regular Council Meeting on July 17, 2020 – Report only.**
- (ii) **Report and Resolution re: Floor Repair**
Res. No. 10(f)(ii)/17/07/2020 Cheryl Philip, Liz Stermsek
WHEREAS Fire Chief Paul Schaefer has budgeted for repairs to the Fire Department floor;
AND WHEREAS two companies submitted quotes to complete the repair;
NOW THEREFORE BE IT RESOLVED that the Council of the Corporation of the Town of Kearney, in accordance with the recommendation of Chief Schaefer, accepts the quote from BNE Contractors Inc., in the amount of \$18,750.00, plus \$1,000.00 to rent a three-phase generator, plus HST. **CARRIED**
- (iii) **Report and Resolution re: New Captain**
Res. No. 10(f)(iii)/17/07/2020 Liz Stermsek, Paul Ziraldo
BE IT RESOLVED that the Council of the Corporation of the Town of Kearney, in accordance with the recommendation of Fire Chief Paul Schaefer, shall promote David McKean from Firefighter to Captain, effective July 17, 2020. **CARRIED**
- (iv) **Report and Resolution re: New Firefighter**
Res. No. 10(f)(iv)/17/07/2020 Cheryl Philip, Mike Rickward
BE IT RESOLVED that, effective immediately, the Council of the Corporation of the Town of Kearney accepts Damon Kipperchuk to the Kearney Fire and Emergency Services Department, as a volunteer firefighter/first responder, subject to the conditions agreed to in the United Food and Commercial Workers Collective Agreement. **CARRIED**
- (v) **Resolution re: Training Course - DEFERRED**
- (g) **Facilities and Buildings - Nil**
- (h) **Council Presentations**
- (i) **Mayor Ballantyne, discussion re: Date for public meeting for Comprehensive Zoning By-law; Discussion - COVID-19 Stage 3**
 Saturday, September 26th, 2020 was chosen as the date for a virtual meeting to receive further public comments regarding our Comprehensive Zoning By-law update.
 Discussion of Council resulted in the decision to keep Municipal Buildings closed to the public at this time.
- (ii) **Deputy Mayor Ziraldo, discussion re:**
- 1) **All-way Stop Signs**
 Discussion of Council resulted in the request for a Staff report regarding this matter.
 - 2) **Speed Bumps on Main Street**
 Discussion of Council resulted in direction that the OPP be requested to monitor speed of vehicles in Town.
 - 3) **Fencing for McManus Beach**
 Discussion of Council resulted in the following Resolution:
Res. No. 10(h)(ii)(3)/17/07/2020 Liz Stermsek, Cheryl Philip
BE IT RESOLVED that the Council of the Corporation of the Town of Kearney APPROVES in principle, the installation of a Posts and Chain barrier at McManus Beach, subject to cost approval. **CARRIED**

11. **Correspondence**

(a) **Action Items**

- (i) **George and Karen Pudsey re: Insect Spraying**
 Discussion of Council determined to post on our Municipal Website,

educational information regarding commercial spraying for nuisance insects.

(ii) **Village of South River re: Concerns to be raised at FONOM**

Discussion of Council resulted in the following Resolution:

Res. No. 11(a)(ii)/17/07/2020 Liz Stermsek, Mike Rickward

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney supports the following two concerns raised by the Village of South River to be included in the discussion at the upcoming FONOM meeting:

- 1) Access to broadband internet is more essential than ever in today's lockdown world. Even childhood education is being impacted by the lack of hi-speed internet, not to mention businesses being forced to move online. These are just two examples of how the internet really is an essential service in today's world. The Federal and Provincial governments need to accelerate their programs to ensure broadband internet is widely available in rural and northern Ontario;
- 2) Municipal insurance costs have taken extraordinary increases in the past years. The Province must find a way for small municipalities to have affordable insurance.

CARRIED

(iii) **Lawrence Levy re: Road Funding Request**

Council discussion clarified that there are no plans currently to donate to an area cottage association(s) for private road maintenance.

(b) Information Items

- (i) John Kelly, Chair, Sand Lake Property Owners Association re: **Letter of Appreciation**
- (ii) Jennifer and Evan Evans re: **Letter of gratitude and thanks**
- (iii) Eastholme, Home for the Aged re: **Updates**

(b) Information Items - Nil

12. Other Business – Nil

13. Closed Session

Council will enter into a Closed Session for discussion regarding:

- (a) A proposed or pending acquisition or disposition of land by the municipality or local board (x2)
- (b) Labour Relations or Employee Negotiations (x4)

Res. No. 13(a)-(b)/17/07/2020 Paul Ziraldo, Cheryl Philip

BE IT RESOLVED that the Council of the Corporation of the town of Kearney enters into Closed Session in accordance with Section 239, (1), (2), (3) and (3.1) of the Municipal Act, c. 25, S.O. 2001, as amended, at 2:57 p.m. for discussion regarding:

- (a) A proposed or pending acquisition or disposition of land by the municipality or local board (x2)
- (b) Labour Relations or Employee Negotiations (x4)

CARRIED

Res. No. 13(c)/17/07/2020 Liz Stermsek, Mike Rickward

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney reconvene in Open Session. Closed Session adjourned at 5:18 p.m.

CARRIED

14. Business Arising from Closed Session

Res. No. 14/17/07/2020 Paul Ziraldo, Cheryl Philip

BE IT RESOLVED that the Council of the Corporation of the Town of Kearney does hereby go past the four (4) hour curfew.

CARRIED

Mayor Ballantyne reported on matters discussed in Closed Session.

15. Confirming By-Law

By-Law 2020-xx being a By-law to confirm the proceedings of Council at its Public Meeting on June 26th, 2020 and at its Regular Meeting held on July 17th, 2020.

Res. No. 15/17/07/2020 Cheryl Philip, Mike Rickward

By-law No. 2020-36, Being a By-law to confirm the proceedings of Council at its Public Meeting held on June 26th, 2020 and at its Regular Meeting held on July 17th, 2020, be read a first, second and third time and numbered 2020-36 and that the said By-law be signed by the Mayor and Clerk, sealed with the Seal of the Corporation, and engrossed in the By-law Book.

CARRIED

16. Adjournment

Res. No. 16/17/07/2020 Cheryl Philip, Liz Stermsek

BE IT RESOLVED that the Regular Council Meeting of the Corporation of the Town of Kearney adjourn at 5:22 p.m. to meet again at 1:00 p.m. on August 7th, 2020 in the Council Chambers, Kearney, Ontario.

CARRIED

**THE CORPORATION OF THE
TOWN OF KEARNEY**

Carol Ballantyne, Mayor

Brenda J. Fraser, Clerk

Date	Pick Up	Kearney	\$	Sand La	\$	Notes
10-Jul		144	\$14	94	\$70	5M,20F,40C,5B
11-Jul		121		77	\$90	10M10F70C
12-Jul		127		84	\$75	10F,20F,30C,15B
13-Jul	24	126		80	\$50	10M, 40C
14-Jul		140		91	\$25	5M,15C,5B
17-Jul		145		75	\$125	25M,15F,30B,55C
18-Jul		129		77	\$50	5M,10B,35C
19-Jul		144		113	\$55	15M,5F,5B,30C
20-Jul	28	143		109	\$40	10M,30C
21-Jul		157		140	\$35	10M, 5F,20C
24-Jul		184		117	\$55	55C
25-Jul		186		116	\$110	10M,5F,10S,85C
26-Jul		150		112	\$60	10M,45C,5B
27-Jul	26	137		110	\$35	5M,30C
28-Jul		172		135	\$75	5M,5F,15C,50B
Totals		2205	\$14	1530	\$950	
					\$964	

Currently averaging a patron every 1.76 minutes.
Patrons are irritable due to line ups, and with only 1 attendant and limit on access, with no time between patrons, there is no time to attend to site
Businesses are seeing increases in numbers at their sites, which results in larger amounts of recycling (costs of recycling is \$2000+/mo during spring, summer & fall, vs. \$1000/mo during winter months)
Both bears and raccoons are active at transfer stations
Lack of tools, or using broken tools from refuse makes site clean-up difficult.
No time between patrons for water/shade.
No time for washroom break
Limited time to drive from site to site + have "lunch" (use washroom, cool down)
On Friday, July 17 @ 3:30pm I was attacked and bit by a dog. I finished my shift before going to ER.
Martin Filmore

THE CORPORATION OF THE TOWN OF KEARNEY

STAFF REPORT

TO: Mayor and Council
FROM: Ross Gattozzi Operations Manager
SUBJECT: Mc Manus Beach
DATE: 2020/07/30

Background:

At July 17 Council meeting there was a discussion about installing a barrier type fence to keep four wheelers and motor vehicles off beach for the safety of beach goers.

Recommendation:

I have come up with 6x6 post 8ft apart with a chain or cable strung from post to post, there also be would be 3 entrances they would only accommodate wheelchair or child's stroller. I would also recommend that sod be laid out 3m from road edge full length of beach to control erosion and would keep post stabilized. There would be a few posts that would be unlockable for access with loader or equipment for maintenance. The cost of post, chain, brackets and hardware \$1,800. Sod would be approximate \$800. Total cost \$2,600.

Respectfully submitted by:

Ross Gattozzi

Operations Manager

THE CORPORATION OF THE TOWN OF KEARNEY

STAFF REPORT

TO: Mayor and Council
FROM: Ross Gattozzi Operation Manager
SUBJECT: All Way Stop, Rain Lake and King Williams Street Intersection
DATE: 2020/07/30

Background:

July 17 Council meeting there was a concern of speeding on Rain lake Road in town limits. The recommendations made for an all way stop at the intersection of King Williams and Rain.

Recommendation:

We drop the speed limit from 50km to 40km for 300m in both directions. We would also daylight site lines from King Williams Street east toward Pattens road. Police presents would calm speeders with their presents.

Respectfully submitted by:

Ross_Gattozzi

Ross Gattozzi

THE CORPORATION OF THE TOWN OF KEARNEY

STAFF REPORT

TO: Mayor and Council
FROM: Ross Gattozzi Operations Manager
SUBJECT: Surface Treatment Tender Approval
DATE: 7/28/2020

Background

Every year we work on various roads to repair and resurface. In 2020 budget we have budgeted for repair Loon lake road for single surface layer that is applied on top of existing road for a more durable road. We also budgeted for Hillside and Morris lane that were beyond capping with a single layer, they were scarified and re graveled. These two roads will be double surface treated for strength and durability. Town of Kearney has put out a tender for resurfacing and had one business Duncor Ltd Inc apply for tender.

Recommendation:

That council to except the tender from Duncor Interprise Inc for the cost of \$92,903.48

Respectfully submitted by: Ross Gattozzi

Ross Gattozzi



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Supervision Skills for Public Works- ON-LINE (</courses-and-events/courses/event-details.html/ogra/event-info/details/id/28439>)

Online

Sep 15 - Sep 18

8:00 am - 5:00 pm



Online

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Description Fees Instructor(s) Testimonials Location & Time Related Info

Supervision Skills for Public Works- ON-LINE

NOTICE:

This course is offered through Contact North and is being **Live Streamed**, presentations **will not** be recorded. You must log in each day to attend this live session.

Course Objectives

You will develop skills vital to effective job performance as supervisors in a public works context, with a focus on soft skills.

Course Content

- Moving from Worker to Supervisor
- Dealing with Change
- Situational Leadership
- Delegation
- Dealing with Workplace Conflict



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- Motivating
- Mentoring
- Ethics
- Conducting Challenging Conversations
- Introduction to Employment Legislation
- Documentation
- Risk Management
- Time Management

Who Should Attend

Municipal staff who are new to supervising others or experienced supervisors who wish to hone their skills.

Accreditation

This course is recognized by:

- This course may be used as credit in all exam programs including technical specialist, technician and technologist programs. Please contact OACETT to make sure that this course satisfies your particular examination program for certification. Point Value = 7
- The Engineering Institute of Canada awards 2.6 Continuing Education Units to this course.

Materials Provided

Course notes

Ken Blanchard's Situational Leadership style self-assessment questionnaire

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REPORT TO COUNCIL

TO: Mayor and Council
FROM: Brenda J. Fraser, CAO | Clerk | Treasurer
RE: Council Meetings - Virtual versus In-person
DATE: August 7, 2020

Recommendation:

***WHEREAS** Municipalities are responsible for making local decisions that are in compliance with applicable statutes and regulations;*

***AND WHEREAS** legislation has recently been passed to allow for Councils to continue to participate electronically in a meeting;*

***NOW THEREFORE BE IT RESOLVED** that the Council of the Corporation of the Town of Kearney shall:*

- allow for the continued use of electronic participation at meetings;
- allow members of Council to participate electronically in open meetings;
- Allow members of Council to participate electronically in closed meetings;
- Allow _____ members of Council participating electronically to count towards quorum
- Allow for the use of teleconference for Council members to participate electronically
- Allow for the use of video conferencing for Council members to participate electronically
- Other _____

Background:

- The Government of Ontario has recently made changes to the Municipal Act, 2001 to expand the authority for municipalities to amend their Procedure By-law to provide that electronic participation in open and closed municipal meetings may count towards quorum beyond times when an emergency declaration is in place, given that the ability to participate electronically in municipal meetings during the past months has been beneficial to continue the important work that municipalities do.
- A municipality can choose to hold a special meeting to amend their Procedure By-law to allow electronic participation. During this special meeting, members participating electronically can be counted for the purposes of quorum.
- If a municipality chooses to amend their Procedure By-law to allow people to participate electronically, meetings would still be required to follow existing meeting rules, including that the municipality:
 - provides notice of meetings to the public
 - maintains meeting minutes
 - continues to hold meetings open to the public (subject to the circumstances under the Municipal Act when municipal meetings can be conducted in closed session.)

Considerations:

- Municipalities continue to have the flexibility to determine if they wish to use the new provision of electronic meetings, based on local needs and circumstances given that these new provisions are optional.

- Municipal Councils, committees and boards can choose to amend their Procedure By-law to:
 - allow the use of electronic participation at meetings
 - state whether members can participate in both open meeting and closed meetings
 - state whether members participating electronically count towards quorum (eg. all council members may participate electronically or whether some are required to be physically present in council chambers)
 - choose the technology (i.e. teleconference, video conference) best suited to their local circumstances so that Council members can participate electronically in decision making and meetings can be open and accessible to the public.

Attachments:

- ✓ Bill 197 – Schedule 12

Respectfully Submitted by:

Brenda J. Fraser,
CAO|Clerk|Treasurer

**SCHEDULE 12
MUNICIPAL ACT, 2001**

1 (1) Subsection 238 (3.1) of the *Municipal Act, 2001* is repealed and the following substituted:

Electronic participation

(3.1) The applicable procedure by-law may provide that a member of council, of a local board or of a committee of either of them, can participate electronically in a meeting to the extent and in the manner set out in the by-law.

(2) Subsection 238 (3.2) of the Act is repealed.

(3) Subsection 238 (3.3) of the Act is repealed and the following substituted:

Same

(3.3) The applicable procedure by-law may provide that,

- (a) a member of a council, of a local board or of a committee of either of them who is participating electronically in a meeting may be counted in determining whether or not a quorum of members is present at any point in time; and
- (b) a member of a council, of a local board or of a committee of either of them can participate electronically in a meeting that is open or closed to the public.

(4) Subsection 238 (3.4) of the Act is repealed and the following substituted:

Special meeting, amend procedure by-law re electronic participation

(3.4) A municipality or local board may hold a special meeting to amend an applicable procedure by-law for the purposes of subsection (3.3).

Same, quorum

(3.5) A member participating electronically in a special meeting described in subsection (3.4) may be counted in determining whether or not a quorum of members is present at any time during the meeting.

2 The Act is amended by adding the following section:

Proxy vote

243.1 (1) The procedure by-law may provide that, in accordance with a process to be established by the clerk, a member of council may appoint another member of council as a proxy to act in their place when they are absent subject to the following rules:

1. A member of a local council appointed as an alternate member of the upper-tier council under section 267 may appoint a member of the upper-tier council as a proxy to act in their place when they are absent from the upper-tier council.
2. A member who is unable to attend a meeting of the upper-tier council and for whom an alternate member is appointed under section 267 shall not appoint a proxy.
3. A member appointed as an alternate member of the upper-tier council under section 268 shall not appoint a proxy.
4. A member who is unable to attend a meeting of the upper-tier council and for whom an alternate member is appointed under section 268 shall not appoint a proxy if the appointed member is acting on their behalf at the meeting.

Rules re proxy votes

(2) The following rules apply with respect to the appointment of another member of council to act as a proxy under subsection (1):

1. A member shall not appoint a proxy unless the proxyholder is a member of the same council as the appointing member.
2. A member shall not act as a proxy for more than one member of council at any one time.
3. The member appointing the proxy shall notify the clerk of the appointment in accordance with the process established by the clerk.
4. For the purpose of determining whether or not a quorum of members is present at any point in time, a proxyholder shall be counted as one member and shall not be counted as both the appointing member and the proxyholder.
5. A proxy shall be revoked if the appointing member or the proxyholder requests that the proxy be revoked and complies with the proxy revocation process established by the clerk.
6. Where a recorded vote is requested under section 246, the clerk shall record the name of each proxyholder, the name of the member of council for whom the proxyholder is voting and the vote cast on behalf of that member.
7. A member who appoints a proxy for a meeting shall be considered absent from the meeting for the purposes of determining whether the office of the member is vacant under clause 259 (1) (c).

Pecuniary interest

(3) A member who has a pecuniary interest described in subsection 5 (1) of the *Municipal Conflict of Interest Act* in a matter to be considered at a meeting shall not, if the interest is known to the member, appoint a proxy in respect of the matter.

Same, pre-meeting discovery

(4) If, after appointing a proxy, a member discovers that they have a pecuniary interest described in subsection 5 (1) of the *Municipal Conflict of Interest Act* in a matter to be considered at a meeting that is to be attended by the proxyholder, the member shall, as soon as possible,

- (a) notify the proxyholder of the interest in the matter and indicate that the proxy will be revoked in respect of the matter; and
- (b) request that the clerk revoke the proxy with respect to the matter in accordance with the proxy revocation process established by the clerk.

Same, post-meeting discovery

(5) For greater certainty, if, after appointing a proxy, a member discovers that they have a pecuniary interest described in subsection 5 (1) of the *Municipal Conflict of Interest Act* in a matter that was considered at a meeting attended by the proxyholder, the appointing member shall comply with subsection 5 (3) of the *Municipal Conflict of Interest Act* with respect to the interest at the next meeting attended by the appointing member after they discover the interest.

Conflict, etc., proxyholder

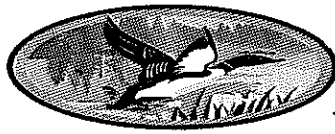
(6) For greater certainty, nothing in this section authorizes a proxyholder who is disabled from participating in a meeting under the *Municipal Conflict of Interest Act* from participating in the meeting in the place of an appointing member.

Regulations, proxy votes

(7) The Minister may make regulations providing for any matters which, in the Minister's opinion, are necessary or desirable for the purposes of this section.

Commencement

3 This Schedule comes into force on the day the *COVID-19 Economic Recovery Act, 2020* receives Royal Assent.



Town of Kearney

REPORT TO COUNCIL

TO: Mayor and Council
FROM: Brenda J. Fraser, CAO | Clerk | Treasurer
RE: Proxy Voting for Municipal Council Members
DATE: August 7, 2020

Recommendation:

***WHEREAS** the Province is providing Municipalities with the flexibility to choose to allow proxy votes for Municipal Council Members who are absent;*

***NOW THEREFORE BE IT RESOLVED** that the Council of the Corporation of the Town of Kearney shall _____*

Background:

- The Government of Ontario is providing municipalities with the flexibility to choose to allow proxy voting for Municipal Council members who are absent. This power helps ensure continuing representation of constituents' interests on Municipal Councils when a Member is unable to attend in person due to, for example, illness, a leave of absence, or the need to practice physical distancing.
- Municipalities that wish to allow proxy voting must amend their Procedure By-law to allow a member of Council to appoint another Member of the *same* Council to act in their place when they are absent.
- Allowing proxy voting is optional.

Considerations:

- It is up to each municipality to determine whether to allow proxies for Council and under what circumstances.
- If a municipality chooses to allow proxy voting, it would be the role of the municipal clerk to establish a process for appointing and revoking proxies. Municipalities may also wish to consider addressing proxy voting in their code of conduct or other local policies to help ensure that votes are appropriately cast and that the local process is followed.
- If a Municipal Council chooses to allow proxy voting, it is up to each Member to decide whether they wish to appoint a Member of that Council as a proxy or not, if they are to be absent.
- Municipalities have the flexibility to determine the scope and extent of proxy appointments including, for example, any local rules or limitations, the process for appointing or revoking a proxy, and how proxyholders may participate in meetings.
- Municipalities may wish to consider:
 - how proxies may be established and revoked;
 - circumstances where proxies may or may not be used; and
 - how a proxyholder may participate in a meeting including voting, speaking, or asking questions on behalf of the appointing member. Once a proxy has been appointed, the appointing Member could revoke the proxy using the process established by the Municipal Clerk.

▪ **Limitations**

- Limits to the proxy appointment process as set out in legislation include:
 - A proxyholder cannot be appointed unless they are a Member of the same Council as the appointing Member;
 - A Member cannot act as a proxyholder for more than one other Member of Council at a time;
 - An appointed proxy is not counted when determining if a quorum is present;
 - A Member appointing a proxy shall notify the Municipal Clerk of the appointment in accordance with the local process established by the Clerk; and
 - When a recorded vote is taken, the Clerk shall record the name and vote of every proxyholder and the name of the Member of Council for whom the proxyholder is acting. Council member absence rules still apply. This means that a Member's seat would become vacant if they are absent from the meetings of Council for three successive months without being authorized to do so by a Resolution of Council.

▪ **Accountability and Transparency**

- Members appointing proxies or acting as proxyholders are required to follow existing accountability and transparency requirements. For example, a Member of Council may not appoint a proxy or serve as a proxyholder on a matter in which they have a pecuniary interest under the *Municipal Conflict of Interest Act*.
- Municipalities may also want to consider transparency measures such as:
 - communicating to the public who has appointed a proxy and who is serving as a proxy;
 - publishing meeting agendas in advance so that proxies can be appointed, if needed, and potential conflicts of interest can be identified; and
 - allowing members to participate electronically when not able to attend meetings in person rather than appointing a proxy.

Respectfully Submitted by:

Brenda G. Fraser,
CAO|Clerk|Treasurer

	Report
To:	Council
From:	By-Law Enforcement Officer Caitlin Deevey
Date of Meeting:	
Report Title:	Trailer/camper compliance
Report Date:	August 5, 2020

Recommendation

Receive for Information purposes.

Summary

Trailers/campers and licensing have been a significantly growing issue in the area and Kearney. Currently Kearney permits trailers/campers for 30days without a license, with a maximum of one located on an individual's lot. After 30 days they are required to purchase a license with an application submitted to the Town.

A lot of properties have more than one trailer located on their lots and even more do not purchase licenses. In my practices, I have been issuing my first letter upon complaint or observation of the trailers with a 30day compliance date of removing the trailer or purchase a license from the Town. Upon sending out a second letter, they are now no longer in compliance and a shorter period of 15 days is issued to comply with and order posted on the property. According to our by-law the Town is to remove it and charge as well.

As towing and impounding initially costs the town first, I am seeking pre-approval from Council to gain compliance by towing and impound. I have a compliance rate with my letters and orders posted of approximately 90%. The 10% that do not comply with orders are the one that everyone sees and then uses as excuses as to why they are not wanting to comply. When this argument starts happening, we can lose control of the issue quickly.

This is a situation that I have seen in my experience with some other municipalities and if it is not handled promptly, can spiral out of control, and reverse the compliance numbers to 10% complying and 90% not. This year (2020) has brought several new trailers into the area and they are nearing their 30 days and still not in compliance. I will be issuing the next letters and posting orders shortly.

Currently I have 2 orders posted on properties and neither appear to be trying to comply. With court systems not operating at full capacity and being backed logged, to bring them to court and have a court order doesn't make sense as they'll be permitted to have the trailers until next winter before getting through the courts.

Our current trailer/camper bylaw 2013-17 s. 5(f) and s.5(g)

“(f) Any campers used, maintained or located in contravention of this by-law shall be removed from the lot, at the expense of the Owner of the lot. The failure to remove any campers from a lot within the time prescribed

by the By-Law Enforcement Officer may result in the removal of any campers by the Town of Kearney, at the expense of the Owner of the lot.

(g) Any person contravening the provisions of this by-law shall be liable to prosecution and upon summary conviction, to a fine not exceeding \$25,000.00 for each day the contravention continues in accordance with the provisions of the Provincial Offences Act and the Municipal Act.”

With our by-law and court situations my recommendation is to tow and impound. If the property Owner replaces the trailer on the property and still does not obtain a license charges will continue to court.

Thank you.

Caitlin Deevey
By-Law Enforcement Officer



Call for Expression of Interest: Northern Ontario Residential Broadband Project 3

Table of Contents

Pages 1- 4:	Expression of Interest Details
Page 5:	Mandatory Questions to be answered by Call for EOI respondents

Focus

Northern Ontario communities where a broadband POP exists in a waterfront community but limited or no broadband high-speed internet access is available for nearby homes or residences across or around the associated large community waterbody (such as a lake, river, or extended wetland). **This Call for Community Expression of Interest (EOI) is for a cost-effective, high-resilience, high performance residential broadband solution extending internet access service to homes 3-5 km from a broadband POP in the host waterfront community where those homes are across or around the associated large waterbody.**

Residential broadband service is defined as a high-speed internet access service to the home, that is faster than dial-up, and is “always on”. A Point of Presence or POP is a high-capacity internet access point brought into a community building or equipment room from an Internet Service Provider (ISP). A broadband POP can provide internet access supplied from an optical fiber backbone connection, a fixed wireless link from a tower, or other high-speed data transport technologies. In this project we are looking for a middle kilometer solution that will reach individual residences up to 5 km from the nearest POP.

Under the Next Generation Network Program (NGNP), CENGN is looking to fund innovative technology projects across Northern Ontario that demonstrate flexible, cost-effective, enhanced residential broadband technology solutions. Through this Call for Community “Expression of Interest” (EOI), CENGN is looking for a Northern Ontario community, interested in working with a technology applicant(s) to prove their solution will provide a lower cost, and high-performance solution that meets or exceeds the capacity to provide 50 Mbps download, and 10 Mbps upload performance per residence from a primary broadband internet POP in the community or from a distributed extended POP network design.

Process

The Expression of Interest (EOI) responses from interested communities will be evaluated by an independent External Review Panel (ERP). The ERP will offer recommendations to a CENGN Internal Review Panel (IRP) on best community candidates for this project.

One or more communities may be awarded a chance to host a middle kilometer (3-5 km) technology project through this EOI evaluation. A separate “Call for Technology EOI” will be issued to select a number of candidate technology applicants to propose technology solutions for the selected community(s).

The community(s), and the technology applicants that are selected through these EOI processes, will then be encouraged to work closely together to enable the selected technology applicants to respond to a subsequent Request for Solution (RFS) process. The RFS process requires a more detailed technical response, which

Call for Community Expression of Interest: Northern Ontario Residential Broadband Project#3



will be evaluated to determine which of the candidate technology applicants(s) selected from the EOI process, will be awarded the CENGN funding to install a solution in the selected community(s).

For more details on the EOI process, please refer to the CENGN document titled “Northern Ontario Residential Broadband Program – EOI and RFS Process Document – Project#3”.

Investment

CENGN will be providing up to \$500,000 funding for each individual project in its Northern Ontario Residential Broadband Program as part of the NGNP. Eligible technology applicant(s) must agree to co-invest by contributing cash and/or in-kind to the project of an equivalent amount to the CENGN funding. Technology applicants are welcome to submit proposals not exceeding a CENGN contribution of \$500,000, to be matched or exceeded by the technology applicant. These CENGN funds must be expensed by the technology applicant, to be applied against eligible expenses associated with supporting a 3 - 6 month project in the community.

Application Focus

Technologies under consideration for this project, must address the requirement for lower-cost, higher performance, residential broadband middle-kilometer, 3-5 km access technology solutions for Northern Ontario communities. These communities often have either no broadband internet residential access, or limited access to only part of the community, and often at performance levels far below 50/10 Mbps performance levels. In addition, the business case for getting broadband internet services into these communities is very difficult since the population density is very low, and the size of the resident populations is often well below 1000 residents. With the increasing demand for real-time video, voice-over-IP communications, tele-medicine, distance-learning, and home-based on-line businesses, there is an increasing need for broadband internet support to the home (middle kilometer) infrastructure that can meet all of these needs.

The objective of this CENGN project is to provide technology that will prove and document installation, equipment, and/or operational costs that are significantly lower than other commonly available technology solutions, while supplying a middle-kilometer solution with sufficient capacity to meet or exceed the latest CRTC recommendations of 50 Mbps download, and 10 Mbps upload performance levels per residence supported from the current broadband POP location in the community. The solution proposed must demonstrate technology and/or business case innovation through a cost-effective, high-resilience solution covering distances of 3-5 km from a broadband POP or a network of extended POPs accessing the outlying homes across or around the nearby water body.

In order to provide a real-world environment to effectively demonstrate the value of the technology proposed by the candidate technology applicant(s), CENGN will select a Northern Ontario community through this call for a community EOI process. The Call for Community EOI process is intended to receive applications from communities interested in participating in and hosting a residential broadband project. The purpose of the installed equipment deployment will be to demonstrate the effectiveness of the proposed middle-kilometer residential broadband technology, and also provide a proven solution that will meet the needs for the selected community. The live network installation allows the technology applicant to measure and document performance levels that are designed to meet or exceed the target internet access performance levels, 50 Mbps download, and 10 Mbps upload performance levels per residence, while reducing installation complexity/cost, lowering equipment cost, improving network resiliency, and/or lowering operational cost targets.

Call for Community Expression of Interest: Northern Ontario Residential Broadband Project#3



It is also important that the proposed solution includes tests and use cases that prove the technology would be able to scale to meet the community's needs through wider residential deployment after the project is complete. The proposed technology solutions and associated infrastructure must be flexible and scalable, so that the demonstrated system can be shown to be adaptable enough to be used across a range of communities with a similar residential broadband middle-kilometer business-case, and technical challenges.

Application Details

CENGN is soliciting EOIs from Northern Ontario communities interested in participating in this Northern Ontario Residential Broadband Project, which will provide a cost-effective, high resilience solution covering distances of 3-5 km across a large waterbody from an existing broadband POP in the community or extended POP as part of a highly innovative middle km residential broadband solution.

The call for EOI responses are due on, or before 5:00pm Friday August 21, 2020.

Submissions are to be provided by email to kirby.koster@cengn.ca in the form of a **written proposal not to exceed five (5) pages**. Reference letters from community support organizations or partners can be added in appendices, beyond the 5 pages that answer the questions of the formal EOI response.

The EOI response must succinctly describe any unique technical, community or bylaw challenges, and/or community access issues. Due to the unique nature of the installation of the equipment in your Northern Ontario community, it is important the applicant clearly states how the community would help ensure that installation and operation of this project can be completed successfully within the target 3-6 months.

Eligibility

Any Northern Ontario community is eligible to respond to the call for Community EOI for Northern Ontario Residential Broadband Project#3. For this project, **Northern Ontario includes any community that is north of a line from Refrew west to Huntsville, then west from Huntsville to Parry Sound, Ontario.**

Next Steps

All interested parties are invited to submit their written EOI as noted above. All applicants will be informed about the status of their EOI submissions **by 5:00pm, Friday September 18, 2020.**

Please direct any questions with respect to the call for EOI document or process to:

Kirby Koster
Senior Manager, Broadband Programs
kirby.koster@cengn.ca
1-613-291-0707

EOI Preference

Preference will be given to EOI responses that:

- 1) Come from a Northern Ontario Community (defined as any Ontario community north of a line from Renfrew west to Huntsville, then west from Huntsville to Parry Sound, Ontario, in the eligibility section of this document).
- 2) Demonstrate a complete lack of broadband residential internet support or extremely limited support that could be solved through a middle kilometer solution for the community.
- 3) Demonstrate a clear economic, health, and education benefits to their Northern Ontario community with improved broadband access.
- 4) A middle kilometer broadband access need that can be shown to have broad Northern Ontario community applicability and impact (economically and/or socially).
- 5) Demonstrate the ability and willingness of your community to work directly with one or more selected technology applicant(s) to enable each technology applicant to propose a subsequent RFS solution that solves the specific middle-kilometer residential broadband internet access issue for your community.
- 6) Confirm a willingness to work with the technology applicant(s) to provide the community-specific information on how to scale or expand the original project configuration/installation to more completely meet the on-going residential broadband needs of your community after the successful completion of the project.

EOI Written Response Format

The EOI response must be a written response in a labeled Microsoft Word or PDF document.

For reference letters of support, data sheets, or other supporting documentation, appendices can be added beyond the formal EOI response of 5 pages, however the EOI response will primarily be evaluated based on the answers to the EOI questions within the first 5 pages of the response.

All answers will be scored during evaluation and each question should be answered with complete answers in paragraph form. Single word answers will receive low scores in the evaluation process.

To be considered as an eligible EOI submission, all the following EOI questions MUST be answered under the same organizational headings shown on the next page, and with the same question and corresponding answer numbering, as defined in this Call for Community EOI document.

Questions

Each answer to each question will be rated and scored as per the community EOI rating criteria. In order to be considered as a project host site, community applicants must respond to each of the following questions or requests for information. **Full comprehensive answers are recommended. Single word answers will not score well.**

Northern Ontario Community Middle-Kilometer Residential Broadband Needs

- 1) Where does your community lack broadband internet residential access (whole or part of the community)?
- 2) Detail the type(s) of residential internet access currently available in the community.
- 3) Identify if a broadband POP currently exists in the community and where.
- 4) Identify where the desired residential neighbourhoods, or waterfront area(s) of the community(s) that the project will need to address are located.
- 5) What is the population of the near-by area or community to be served?

Community Commitment and Readiness to Support a CENGN Project

- 1) State the level of municipal or community government support that will be available for the project.
- 2) Identify the preferred locations in the community that would be available for towers or transmission equipment needed to support the project.
- 3) Identify the availability and location of a secure climate-controlled equipment room(s) for project equipment/racks at tower or extended POP locations.
- 4) Would the community be willing to consider tower or other outdoor installations, and state your ability to make one or more sites available if necessary?
- 5) State your ability to work with one or more technology applicants to provide the detailed community site information needed for the technology applicant(s) to accurately propose the estimated costs of the project.
- 6) Propose how the community is prepared to work with the selected technology applicant(s) to be “shovel ready” by December 2020.

Other Considerations for the Project

- 1) Identify any community partner(s) that would be available and interested in participating or supporting the project.
- 2) State any known bylaw or regulatory issues that could delay start of the project.
- 3) List and detail any other existing or planned broadband projects for the community.
- 4) Confirm the community’s willingness to work with CENGN and the selected technology applicant(s) to publish and promote the successful project results and technology solution used in your community, as a proof-of-concept showcase network approach for other Northern Ontario communities.

Community Commitment Beyond the Completion of the Project

- 1) State the community’s interest in working with one or more technology applicants to develop a plan for a successful commercial service deployment in the community and plan subsequent expansion phases following the successful completion of the project.



REPORT TO COUNCIL

TO: Mayor and Council
FROM: Cindy Filmore – Senior Office Assistant
RE: Possible Broadband Project
DATE: August 7, 2020

Recommendation:

***WHEREAS** staff received notice of an opportunity to participate in the CENGN Northern Ontario Residential Broadband Project #3*

***AND WHEREAS** to participate in this project, staff needs to ready an Expression of Interest for submission*

***AND WHEREAS** this project represents an opportunity to introduce the possibility of highspeed internet to our municipality with a minimum of cost to the Town*

***NOW THEREFORE BE IT RESOLVED** that the Council of the Corporation of the Town of Kearney directs staff to submit an Expression of Interest to the CENGN Northern Ontario Residential Broadband Project #3*

Background:

Internet access in our community is limited at best. Staff, Council and residents have all expressed frustration at the lack of infrastructure, lack of viable price points and non-usability of current services.

CENGN (Centre of Excellence in Next Generation Networks) represents a conglomerate of Canada's top telecommunications and technology companies along with Federal and Provincial government organizations which have joined together to enable small and medium sized companies to test and validate promising technologies, removing barriers to product commercialization and accelerating market growth . The Northern Ontario Residential Broadband Project #3 is their 3rd attempt to enable viable internet access and telecommunications within our area.

Considerations:

The EOI requirements are extensive and will demand considerable investigation by staff to best determine the sites which may be available for the proposed project. Additionally, the municipality will be required (if selected) to provide a building or buildings with hydro and/or water/septic access.

Attachments:

- CENGN Call for Expression of Interest

Respectfully Submitted by:

Cindy Filmore
Senior Office Assistant

Report Date
2020-07-31 11:48 AM

Town of Kearney
List of Accounts for Approval
As of 2020-07-31
Batch: 2020-00039 to 2020-00043

Page 1

Payment #	Date	Vendor Name	Reference	Payment Amount
Bank Code: AP - GENERAL AP				
Computer Cheques:				
29968	2020-07-02	Abell Pest Control	July/20 pest control <i>KCC</i>	135.70
29969	2020-07-02	CRA - Receiver General	June/20 payroll remittance	30,375.72
29970	2020-07-02	Steven Cicchillo	Entrance deposit return <i>P/W</i>	500.00
29971	2020-07-02	Cupe Local 1813	CUPE union dues June/20	754.59
29972	2020-07-02	Caitlin Deevey	Kms-June1-26/20 <i>BI-LAW ENFOR</i>	250.44
29973	2020-07-02	Minister Of Finance (EHT)	June/20 EHT remittance	2,049.55
29974	2020-07-02	Ross Gattozzi	Kms-June 25-28/20 <i>P/W</i>	84.10
29975	2020-07-02	Grant Thornton LLP	Auditor 2019 Fin Strmts <i>ADMIN</i>	1,469.00
29976	2020-07-02	Hicks Morley	Legal fees	624.89
29977	2020-07-02	Huron Alarm & Fire Security	KCC alarm Jul-Sept <i>KCC</i>	67.80
29978	2020-07-02	Kennedy Ins Brokers Inc	P/W Cat B/hoe insurance	231.12
29979	2020-07-02	Levack Mgmt Consulting Inc.	Pay Equity & job descrip.	678.00
29980	2020-07-02	Scott McKay	Kms- May 27/20 <i>P/W</i>	20.88
29981	2020-07-02	Min Of Fin-Ontario	May/20 OPP	27,633.00
29982	2020-07-02	Moore Propane Ltd.	KCC propane	334.49
29983	2020-07-02	Near North Business Machines	Copier maint June/20 <i>ADMIN; LIBRARY</i>	216.10
29984	2020-07-02	OMERS	June/20 OMERS	16,192.16
29985	2020-07-02	Pollard Highway Products	P/W dust control	8,884.35
29986	2020-07-02	Ryman Titles Inc.	Title search Nor/ShoreRd	30.51
29987	2020-07-02	Workplace Safety & Ins.Board	WSIB 2 Q Apr-June	6,918.79
29988	2020-07-17	ACI-Accelerated Connections	July Intervent <i>FD, P/W, ADMIN</i>	375.58
29989	2020-07-17	Bowman Fuels Ltd.	P/W June/20 diesel fuel	2,835.01
29990	2020-07-17	Burk's Falls Building Ctr Ltd	P/W plow paint	111.46
29991	2020-07-17	Burk's Falls Home Hardware	FD-bldg keys	95.23
29992	2020-07-17	ClayMar Electric	FD generator service	197.75
29993	2020-07-17	Matthew Clouthier	Bldg-1561 kms M Clouthier	905.38
29994	2020-07-17	Dependable Fire Equipment	FD-10 Rescue knives	1,167.56
29995	2020-07-17	Joshua Desilva	Firehall supplies	369.81
29996	2020-07-17	Fetterley's Gas & Convenience	Vehicle fuel <i>ALL DEPTS</i>	1,955.63
29997	2020-07-17	Martin Filmore	Kms-Jun 19-23 Jun 25-29/20 <i>TRANS STNS</i>	63.80
29998	2020-07-17	Glen Martin Ltd.	KCC - garbage bags	171.88
29999	2020-07-17	Brian Horsman	Apr-July 2/20 Kms <i>BLDG DEPT</i>	497.06
30000	2020-07-17	Hydro One Networks Inc.	Jul/20 hydro	1,784.07
30001	2020-07-17	Jones Motor Lines	Portable for downtown <i>SERVICE ALL PORTABLES</i>	1,227.55
30002	2020-07-17	Kearney & Area Public Library	2020 Budget levy	22,751.72
30003	2020-07-17	LAS-Local Authority Services	Copier paper <i>ADMIN</i>	176.08
30004	2020-07-17	Aaron Lasby	July 3-7/20 Trans Stns Kms	63.80
30005	2020-07-17	M&L Supply, Fire & Safety	FD-Bunker suit jacket	1,156.91
30006	2020-07-17	Min Of Fin-Ontario	FD-MNRF 2020 fees	7,022.76
30007	2020-07-17	Muskoka Springs Inc	KCC bottled water	52.01
30008	2020-07-17	Northern Upfitters	FD-FordExped.repairs	1,312.24
30009	2020-07-17	Northern Nerds	Admin-Dropbox Annual Lic	6,237.88
30010	2020-07-17	Gaston Pouliot	FD - Crazy glue	4.51
30011	2020-07-17	Praxair	P/W Praxair tanks	251.93
30012	2020-07-17	Marjorie Robinson	Acct serv Jun20-Jul 14 <i>SENIORS ADMIN</i>	3,045.67
30013	2020-07-17	Royal Canadian Legion	2020 Donation	200.00

Report Date
2020-07-31 11:48 AM

Town of Kearney
List of Accounts for Approval
As of 2020-07-31
Batch: 2020-00039 to 2020-00043

Page 2

Payment #	Date	Vendor Name	Reference	Payment Amount
30014	2020-07-17	Voided by the print process		0.00
30015	2020-07-17	Royal Bank Visa	ALL DEPTS - CREDIT CARD EXPENSES	5,715.70
30016	2020-07-17	SPCA-Ontario	SPCA fee Jul 1-Sept 30	391.68
30017	2020-07-17	Spectrum Telecom Group Ltd.	FD-Internet	310.69
30018	2020-07-17	Telequip Systems Limited	P/W July airtime	169.50
30019	2020-07-17	Toromont Ind. Ltd.	P/W bkho parts	603.50
30020	2020-07-17	Tulloch Engineering Inc	Eng Ser fees Jun/20 - BOAT RAMPS & DOCKS	3,503.26
30021	2020-07-17	ULINE Canada Corp	P/W Calendar Brds	453.38
30022	2020-07-17	Waste Connections of Canada	June metal & RECYCLING	10,352.50
30023	2020-07-17	Women's Own Resources Centre	2020 Donation	200.00
30024	2020-07-24	APC Auto Parts Centres	P/W Frt Stab Kit-veh	594.94
30025	2020-07-24	Keven Beaucage	Admin kms-K Beaucage	48.72
30026	2020-07-24	Bell Mobility Inc.	P/W Cell phones	88.84
30027	2020-07-24	Bell Canada	July/20 phones	714.77
30028	2020-07-24	CSL Group Ltd	Perry Lake Boat ramp; SAND LAKE RAMP & DOCK	199,763.21
30029	2020-07-24	Mark Earl	Bal of 2020 - W/boots P/W	159.64
30030	2020-07-24	Fire Marshal's Public Fire	m/ship fees 2020/2021 FD	100.00
30031	2020-07-24	Green Shield Canada	Aug/20 Green Shield	5,159.51
30032	2020-07-24	Manulife Financial	Aug/20 Manulife	1,997.53
30033	2020-07-24	Muskoka Rent-All Huntsville	Parks mower parts	100.51
30034	2020-07-24	North Bay/Parry Sound District	Aug/20 Health Unit levy	2,259.25
30035	2020-07-24	Rickwards Small Motors Inc	Parks-mower blades	108.43
Total for AP:				384,280.03

Moved by:

Seconded by:

Be it resolved that Council has received and have no objections to be noted for
Cheque #29968 to # 30035 in the amount of \$384,280.03.

Mayor

Clerk/CAO/Treasurer

CHIEFS REPORT

August 3rd, 2020.

Training

We had two medical trainings and one fire training. Medical practice is in Kearney and the fire training was on Old Government Road in Perry. We are following all precautions possible during training.

Live fire training at the college has been cancelled. We are looking into another approved facility for our practice dates.

As well I am keeping Firefighters up to date on the ever changing COVID19 updates.

Fire Prevention

Fire rating has been set to MODERATE. Fire permits are being issued. I am still doing a lot of education around permitted camp fires and times of permitted burning. I will be dropping off some smoke and C/O alarms to Hunters Bay radio for fire safety messages. I am planning to use the Fire Departments Facebook page more frequently for safety messaging and general information.

Equipment

Unit 317 First response has been safetied. I have ordered some lights that need to be replaced and will do most repairs in house. All equipment is back from servicing and in service.

We have started to paint the firehall. Slowly getting it back together. The floor repair has been completed and looks very good. I sent the clerk some before and after pictures.

The Five area Chiefs had a full day meeting and some firehall visits to gather additional information for future equipment upgrades and replacements.

We have had five medical calls, and four fire calls one call I escorted the ambulance to Emsdale airport to meet Orange for an airlift.

Our Chiefs meetings are web based at this time. As well our captains are attending web-based training.

I am participating on many COVID 19 information calls.

I can be reached on my cell at 705 571 3761 or at the Firehall or via email.

Stay Safe

Sincerely,

A handwritten signature in black ink that reads "Paul". The signature is stylized with a large, looped 'P' and a cursive 'a' and 'l'.

Paul Schaefer

Fire Chief, Town of Kearney



Town of Kearney

Paul Schaefer
Fire Chief
Town of Kearney

Kearney Fire and Emergency Services
Box 38
Kearney, ON P0A 1M0

email paul.schaefer@townofkearney.ca
Phone 705 636 7402
Cell 705 571 3761
Fax 705 636 9743

Wednesday August 5th, 2020.

To: Kearney Council
From: Paul Schaefer, Fire Chief
Subject: Online training

COUNCIL REPORT

The area Fire Chiefs have just been offered another online Pilot course. The course is NFPA 1035 Fire Life Safety Educator. It will be running similar as the last online training. A precourse, assignments, reading, and zoom interviews. I would like council's permission to take this training. The Fire College cost is \$65.00 dollars and my hours to take the training.

Thank you for your consideration.

Sincerely,

Paul Schaefer

Fire Chief



The Corporation of the Town of Kearney
8 Main Street
Kearney, Ontario

DESIGNATED SUBSTANCES SURVEY

July 17, 2020

Kearney Community Centre
8 Main Street, Kearney, Ontario

P-0022663-0-00-200-01

DRAFT VERSION



Prepared by:

Draft

Sonya Clelland
Bachelor of Environmental Studies
Environmental Assessor

Approved by:

Draft

Jake Berghamer
Professional Engineer
Service Director

Summary

Englobe Corp. was retained by The Corporation of the Town of Kearney to complete a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The study was carried out in accordance with the intent of our Proposal No. 2020-P152-091 and included the Designated Substances as defined under the *Occupational Health and Safety Act*. The purpose of the study was to determine the absence or presence of designated substances which may require special handling and/or disposal prior to or during demolition, renovations and/or equipment removal operations as required under the OHSA. The results of the study can be used as the basis for the development of management plans and quantification surveys if necessary.

The results of Englobe's survey indicate the following:

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Acrylonitrile	Possibly present in stable form in some manufactured products.	None.
Arsenic	Possibly present in stable form in paints and/or adhesives.	None.
Asbestos	Asbestos was detected at concentrations of 0.5% or greater, in two (2) the suspect materials sampled by Englobe Corp: <ol style="list-style-type: none"> 1. <u>Vinyl Tile</u> – 4.0% Chrysotile 2. <u>Caulking</u> – 0.5-1.0% Chrysotile 	The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations. Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing materials unless tested and proven otherwise.
Benzene	Possibly present in stable form in paints and/or adhesives.	None.
Coke Oven Emissions	Not identified in subject area of survey.	None.
Ethylene Oxide	Not identified in subject area of survey.	None.
Isocyanates	Not identified in subject area of survey.	None.
Lead	A total of nine (9) paint samples were obtained from throughout areas of the survey. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows: <ul style="list-style-type: none"> ▶ Paints or surface coatings containing less than or equal to 0.1% lead by 	The level of lead detected in the paint or surface coatings will dictate how they are to be treated, as defined in the EACO Lead Guideline, dependent upon the aggressiveness of disturbance of the material (i.e. the potential for dust production). Painted surfaces in this structure should therefore be treated as containing lead

SUBSTANCE	COMMENTS	RECOMMENDATIONS
	<p>weight (1000 ppm) are considered low-level lead paints or surface coatings.</p> <ul style="list-style-type: none"> ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings. ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings. <p>Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.</p> <p>Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.</p>	<p>unless the specific surface has been tested and shown to be otherwise. Any work (renovation, demolition, etc.) involving lead containing coatings or other materials containing lead must be done so in a manner that minimizes fine dust production or fumes. The concentration of lead in air should not exceed the occupational exposure limits (OELs) for lead. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average. Renovation/demolition work may disturb lead containing coatings. The publication <i>Lead on Construction Projects</i>, September 2004, produced by the Ministry of Labour can be used as a guideline. Demolition debris that is coated with lead coatings must be disposed of in a registered waste facility licensed to accept the debris. Recycling of materials with lead coatings may require the removal of the coating prior to reuse.</p>
Mercury	<p>Mercury is present in some thermostats. One (1) mercury containing thermostat and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during this investigation. Mercury vapour is likely present in fluorescent lights observed in the building.</p> <p>Mercury may be present in paints and/or adhesives in stable form.</p>	<p>Mercury or mercury vapour does not pose a risk to building occupants or workers provided that the container remains intact. Complete removal of mercury containing equipment should be carried out prior to renovations or demolition by trained individuals.</p> <p>The publication “A Guide to the Mercury Regulation” produced by the Ministry of Labour can be used as a guideline.</p>
Silica	<p>Silica is likely present in brick, concrete, cement, mortar, grout, and/or ceramic tiles.</p>	<p>Any work involving silica containing materials must be done so in a manner that minimizes fine dust production. Workers carrying out demolition or renovation operations where airborne silica levels are expected to exceed 0.05 mg/m³ should be protected through the use of respirators, misting, and a worker wash station.</p> <p>The Ministry of Labour Guideline: <i>Silica on Construction Projects</i> can be referred to in the development of a management plan.</p>

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Vinyl Chloride	Vinyl Chloride was not present in pure chemical form. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.	None.

Please see Section 5.0: Limitations of the Survey.

Production Team

The Corporation of the Town of Kearney

CAO/Clerk

Brenda Fraser

8 Main Street

705.636.7752

Kearney, Ontario

Brenda.fraser@townofkearney.ca

P0A 1M0

Englobe Corp.

Project Manager

Sonya Clelland, BES.

Service Director

Jake Berghamer, P. Eng.

Revision and Publication Register		
Revision N°	Date	Modification and/or Publication Details
00	July 17, 2020	Draft Report Issued

Distribution	
2 Electronic Copies	1 to Client, 1 to File

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If tests have been carried out, the results of these tests are valid only for the sample described in this report.

Englobe’s subcontractors who have carried out on-site or laboratory work are duly assessed according to the purchase procedure of our quality system. For further information, please contact your project manager.”

Table of Contents

1	INTRODUCTION	1
2	SCOPE OF WORK.....	1
2.1	QA/QC Procedures.....	2
3	RESULTS OF THE DESIGNATED SUBSTANCES SURVEY	3
3.1	Acrylonitrile	3
3.1.1	Acrylonitrile Background Information	3
3.1.2	Acrylonitrile Survey	3
3.2	Arsenic	3
3.2.1	Arsenic Background Information.....	3
3.2.2	Arsenic Survey	4
3.3	Asbestos.....	4
3.3.1	Asbestos Background Information	4
3.3.2	Asbestos Survey	6
3.4	Benzene	8
3.4.1	Benzene Background Information.....	8
3.4.2	Benzene Survey.....	8
3.5	Coke Oven Emission	8
3.5.1	Coke Oven Emission Background Information	8
3.5.2	Coke Oven Survey	8
3.6	Ethylene Oxide Emission	8
3.6.1	Ethylene Oxide Background Information	8
3.6.2	Ethylene Oxide Survey.....	9
3.7	Isocyanates	9
3.7.1	Isocyanates Background Information.....	9
3.7.2	Isocyanates Survey.....	9
3.8	Lead	9
3.8.1	Lead Background Information	9
3.8.2	Lead Survey	10
3.9	Mercury	11
3.9.1	Mercury Background Information.....	11
3.9.2	Mercury Survey	12
3.10	Silica.....	13
3.10.1	Silica Background Information	13
3.10.2	Silica Survey	13
3.11	Vinyl Chloride	14
3.11.1	Vinyl Chloride Background Information.....	14
3.11.2	Vinyl Chloride Survey.....	14
4	CONCLUSIONS	15

5 LIMITATIONS OF SURVEY 18

Appendices

- Appendix 1 Drawings
- Appendix 2 Room Survey and Sample Results
- Appendix 3 Analytical Results: Asbestos and Lead

1 Introduction

At the request of the Client, The Corporation of the Town of Kearney (hereafter referred to as the “Client”), Englobe Corp. (Englobe) has carried out a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street in Kearney, Ontario (see Figure Nos. 1a and 1b: Key Plan, Appendix 1). For the purpose of this report, Main Street is considered to be oriented in an east-west direction in the area of the building.

2 Scope of Work

The study included the Designated Substances as defined under the Occupational Health and Safety Act. The purpose of the study was to determine the absence or presence of designated substances or select hazardous materials that may require special handling and/or disposal prior to or during renovation/demolition operations as required under the OHSA.

The Occupational Health and Safety Act and Regulations (R.S.O. 1990) states under Section 30:

- (1) Before beginning a project, the Owner shall determine whether any designated substances are present at the project site and shall prepare a list of all designated substances that are present at the site.
- (2) If any work on a project is tendered, the person issuing the tenders shall include, as part of the tendering information, a copy of the list referred to in subsection (1).

The eleven (11) designated substances are:

DESIGNATED SUBSTANCES		APPLICABLE REGULATION
1	Acrylonitrile	O. Reg. 490/09
2	Arsenic	O. Reg. 490/09
3	Asbestos Asbestos (on Construction Projects and in Buildings and Repair Operations)	O. Reg. 490/09 O. Reg. 278/05
4	Benzene	O. Reg. 490/09
5	Coke Oven Emissions	O. Reg. 490/09
6	Ethylene Oxide	O. Reg. 490/09
7	Isocyanates	O. Reg. 490/09
8	Lead	O. Reg. 490/09
9	Mercury	O. Reg. 490/09
10	Silica	O. Reg. 490/09
11	Vinyl Chloride	O. Reg. 490/09

The buildings were inspected for the presence of suspect materials that may contain designated substances on June 25, 2020. The most common designated substances present in building materials include: asbestos, mercury, silica, and lead. Where applicable, samples of suspect building materials that may contain designated substances were taken and sent to an accredited analytical laboratory to be analyzed. A list of materials that may contain the remaining designated substances was compiled, however, no specific analytical testing was carried out.

It is understood that the Client requires that the building material be investigated down to the framing of the structure, and as such, invasive methods to identify potential suspect materials were used. Materials that serve as fixtures to a building and which can be easily removed prior to upgrades or demolition were not sampled (i.e. doors, cupboards). Please note that, while effort was made to carry out a thorough investigation, there is no guarantee that all hidden potential suspect materials were discovered. Notably, a large portion of the roof on the Kearney Community Centre was inaccessible at the time of the survey and was not fully investigated. However, the more accessible roof sections were investigated and sampled for suspect material. The adhesive or thin-set below ceramic tiles encountered within the building including the washrooms areas were not inspected as this would have damaged these areas and jeopardized the integrity of the material. In the majority of sampling procedures, it is unavoidable to obtain a sample without also sampling the substrate the sample is adhered to. Samples followed with an asterisks (*) indicate substrate interference as noted by the laboratory.

The results of the study can be used as the basis for the development of management plans.

O. Reg. 278/05, s. 8 (5) requires that this record be updated at least once every 12 months and whenever the owner becomes aware of new information relating to the matters this record deals with.

Please see Section 5.0: Limitations of the Survey.

2.1 QA/QC Procedures

This project was carried out with strict adherence to Englobe Corp.'s quality assurance/quality control policies and procedures. All project documentation was maintained and controlled with a unique project identifier number logged in the Englobe Corp. job database.

All fieldwork (equipment decontamination, sampling, use of safety equipment etc.) was carried out according to standard industry recognized environmental methods.

International Asbestos Testing Laboratories (IATL) carried out the Asbestos and Lead sample testing for this project. IATL has received laboratory accreditation by the National Voluntary Laboratory Accreditation Program (NVLAP), American Industrial Hygiene Association (AIHA), and dozens of state health and environmental agencies. IATL is located at 9000 Commerce Parkway, Suite B in Mt. Laurel, New Jersey.

3 Results of the Designated Substances Survey

3.1 Acrylonitrile

3.1.1 Acrylonitrile Background Information

Acrylonitrile is prescribed as a Designated Substance (R.S.O. 2009, Reg. 490/09). Acrylonitrile, which does not occur in nature, is a man-made chemical that exists in liquid form. The chemical is colorless with a sharp onion- or garlic-like odor and it can be dissolved in water and evaporates quickly. Acrylonitrile is used in the manufacture of acrylic fabrics and carpets. The chemical is also used extensively in the manufacture of synthetic fibers, paints, resins, plastics, elastomers, and rubber for a variety of consumer goods such as textiles, dinnerware, food containers, toys, luggage, automotive parts, small appliances, and telephones. It is also used in fumigants. Acrylonitrile is present in cigarette smoke as well as car exhaust. In the past, a mixture of acrylonitrile and carbon tetrachloride was used as a pesticide however; all known pesticide uses have stopped. Acrylonitrile is a central nervous system depressant and a respiratory, eye and skin irritant, and the effect of exposure can take days to appear. Some symptoms of exposure include headache, dizziness, nausea, muscle weakness, and convulsions amongst others. Exposure to the chemical can occur through breathing contaminated air, absorption through the skin, or by ingestion. Exposure to acrylonitrile is unlikely unless the individual works in or lives near industries where it is manufactured or used, or near a hazardous waste site that contains the chemical.

3.1.2 Acrylonitrile Survey

Acrylonitrile is used as an intermediate in the manufacture of a wide range of consumer products but undergoes chemical reaction to different substances during the manufacturing process. The presence of the chemical Acrylonitrile is not suspected in the area surveyed.

3.2 Arsenic

3.2.1 Arsenic Background Information

Arsenic is prescribed as a Designated Substance (R.S.O. 1990, Reg. 490/09). Arsenic is a natural element that commonly occurs in the earth's crust. There are trace amounts of arsenic in all living matter. The presence of arsenic in water bodies may be a natural occurrence resulting from the breakdown of mineral or rock that naturally contains arsenic. Alternatively, arsenic may enter the natural environment through the discharge of industrial wastes and by the deposit of arsenic particles in dust, or dissolved in rain or snow. Arsenic particles are produced from the burning of fossil fuels, metal production, agricultural use (i.e. pesticides or feed additives), waste burning, cigarette smoke, or cutting, sanding or burning arsenic containing products (i.e. preserved woods). In the past, Arsenic was a component of some paints. Exposure to arsenic can result through inhalation, ingestion, and/or absorption. Arsenic is a carcinogen. Breathing high levels of inorganic arsenic can give you a sore

throat or irritated lungs. Ingesting very high levels of arsenic can result in death. Exposure to lower levels can cause nausea and vomiting, decreased production of red and white blood cells, abnormal heart rhythm, damage to blood vessels, and a sensation of “pins and needles” in hands and feet. Skin contact with inorganic arsenic may cause redness and swelling. Little is known regarding health effects of organic arsenic compounds in humans.

3.2.2 Arsenic Survey

There were no apparent sources of Arsenic present in the area surveyed. Arsenic may be present in some paints or adhesives in a permanently bonded stable form.

3.3 Asbestos

3.3.1 Asbestos Background Information

Asbestos is the general name for a family of naturally occurring silicate minerals which include chrysotile, amosite, crocidolite, and tremolite amongst others. During the period between the 1950's and mid 1970's asbestos was commonly used in building materials because of its relatively incombustible and thermal properties, resistance to fungal growth and corrosion, and its tensile strength and flexibility. Asbestos can be found in textiles, insulating material (i.e. pipe wrappings, electrical, etc.), vinyl and asphalt floor tiles, vinyl sheet backings, acoustical ceiling tiles, decorative/textured plasters, asbestos-cement products, roof coatings, and caulking compounds amongst other materials. Below is a select list of some suspect asbestos containing materials produced by the US EPA.

LIMITED LIST OF SELECT SUSPECT ASBESTOS CONTAINING MATERIALS	
Cement Pipes	Elevator Brake Shoes
Cement Wallboard	HVAC Duct Insulation
Cement Siding	Boiler Insulation
Asphalt Floor Tile	Joint Compounds
Vinyl Floor Tile	Ductwork Flexible Fabric Connections
Vinyl Sheet Flooring	Cooling Towers
Flooring Backing	Pipe Insulation (corrugated air-cell, block, etc.)
Construction Mastics (floor tile, carpet, ceiling tile, etc.)	Heating and Electrical Ducts
Acoustical Plaster	Electrical Panel Partitions
Decorative Plaster	Electrical Cloth
Textured Paints/Coatings	Electric Wiring Insulation
Ceiling Tiles and Lay-in Panels	Chalkboards
Spray-Applied Insulation	Roofing Shingles
Blown-in Insulation	Roofing Felt
Fireproofing Materials	Base Flashing
Taping Compounds (thermal)	Thermal Paper Products
Packing Materials (for wall/floor penetrations)	Fire Doors

LIMITED LIST OF SELECT SUSPECT ASBESTOS CONTAINING MATERIALS

High Temperature Gaskets	Caulking/Putties
Laboratory Hoods/Table Tops	Adhesives
Vinyl Wall Coverings	Wallboard
Elevator Equipment Panels	Spackling Compounds

Note: The list does not include every product/material that may contain asbestos. It is intended as a general guide to show which types of materials may contain asbestos.

In the 1970's, the adverse effects of airborne asbestos fibres were becoming apparent and Canadian insulation manufacturers voluntarily stopped producing friable asbestos-based insulations. In 1984, a "safe-use" approach to asbestos was recommended involving strict controls over mining, milling, manufacturing, transportation, handling, and disposal activities. A federal-provincial working group on studying asbestos adopted this approach and developed a "Current Approach to the Regulation of Asbestos in Canada". This was expanded in 1996 when the Government of Canada adopted the safe-use principle in its Minerals and Metals Policy. Low-density and friable products containing asbestos are no longer marketed in Canada and are prohibited under the Hazardous Products Act.

Asbestos is a designated substance (O. Reg. 490/09 and O. Reg. 278/05). Asbestos Containing Materials (ACMs) are described as those that contain 0.5% asbestos or more by dry weight. ACMs are further defined by their "friability" or the ease of which the material can be ground or pulverized. As indicated in O. Reg. 278/05 Designated Substance — asbestos on construction projects and in buildings and repair operations, "friable material" means material that,

- a) when dry, can be crumbled, pulverized or powdered by hand pressure, or
- b) is crumbled, pulverized or powdered.

ACMs do not create a hazard if they are lying dormant and undisturbed or if they are encased in a non-friable material. However, if during renovations and/or demolition activities, or if the material deteriorates and becomes friable, asbestos fibers may become airborne thus causing a number of health related concerns.

The number of analytical tests required for asbestos testing in accordance with Ontario Regulations is fully dependent upon the quantity and type of materials present. The bulk sampling requirements of the Ontario Asbestos Regulation (O. Reg. 278/05) requires that of each suspect asbestos containing material identified, a minimum number of samples be taken dependent upon type of material and estimated quantity. For example, for "surfacing material", including without limitation material that is applied to surfaces by spraying, by troweling or otherwise, such as acoustical plaster on ceilings and fireproofing materials on structural members" of an area less than 90 m², a minimum of 3 samples must be taken. More samples must be taken for progressively larger areas. For other materials, such as floor tiles or acoustical ceiling tiles, a minimum of 3 samples must be taken per material. In addition, some materials may have several different substrates (i.e. floor tiles may have a mastic, etc.) which must be tested separately and constitutes a separate test. In addition, once a positive result is encountered in a set of samples, the analytical testing can be halted as per the Regulation, and the entire material represented by the sample set is considered to be an ACM. During the survey, every

effort was made to obtain a reasonable number of representative samples of suspect ACMs necessary to meet the regulations (if possible), while at the same time keeping the number of samples to a minimum.

3.3.2 Asbestos Survey

A visual inspection for suspect Asbestos Containing Materials (ACMs) was carried out throughout the specified areas of the building. During the inspection, data was collected in regards to the type of suspect material, location, and estimated quantity, if applicable. Each of the suspect materials was rated for condition and the potential for disruption. A summary of the results of the survey is included below. The full results of the survey are included in Appendix 2, Enclosure No. 1. The general report format of the survey is that each room is detailed in its own table such that the information can be easily accessed as follows:

1. Individual Room Information Tables.
2. Data sheets that identify each room.
3. Provides general photos of the room and/or samples.
4. A list of the suspect building materials present in the room, if any, and sample numbers where applicable.
5. Analytical result for those materials sampled and tested.

In regards to ACMs, the materials were identified as friable/non-friable and provided with a condition rating and disruption factor (i.e. the ease of which the material can be accessed by building occupants). By adding the two ratings together, it can be easily determined which materials require immediate attention (i.e. the higher the sum, the greater the degree of urgency to treat/remove the material). For example an ACM in good condition that is concealed, would have a total rating of 2. An ACM that is in poor condition and is easily accessible would receive a total rating of 6. The ratings are as follows:

- I. Condition Rating 1 - good (material in good condition);
- II. Condition Rating 2 - mediocre (some minor deterioration);
- III. Condition Rating 3 - poor (material deteriorating, torn, pieces falling off, etc.);
- IV. Disruption Rating 1 - not accessible or encapsulated;
- V. Disruption Rating 2 - accessible by maintenance staff only;
- VI. Disruption Rating 3 - accessible by everyone.

These samples were submitted to the analytical laboratory to be analyzed for asbestos content. The results of the testing are included in Appendix 2.

During the asbestos survey, a representative number of suspect asbestos containing materials were sampled from the areas investigated and submitted for analysis. If suspect materials were similar (i.e. Vinyl Floor Tiles) but differed in some manner (i.e. color, texture, pattern, etc.) these items were treated as individual materials as there was no information available to indicate otherwise (i.e. date of installation, manufacturer, etc.). A total of sixteen (16) suspect materials were identified by Englobe Corp. and the laboratory:

1. Insulation;
2. Vinyl Tile;
3. Fiberboard;
4. Drywall Joint Compound;
5. Construction Mastic;
6. Carpet Adhesive;
7. Mortar;
8. Ceiling Tile;
9. Plaster;
10. Leveling Compound;
11. Caulking;
12. Foam Insulation;
13. Tar;
14. Roofing Shingle;
15. Drywall; and,
16. Felt/Tar Paper.

Vinyl Floor Tile: 4.0% Chrysotile. Non-Friable. White. Sample ASB21b, located below the carpet in Room #12 in northwest corner. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All White coloured Vinyl Floor Tiles within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

Caulking: 0.5 – 1.0% Chrysotile. Non-Friable. Brown. Sample ASB32a and ASB32b, located at the exterior of the building. ASB32a was located on the east side of the building next to the visitor centre entrance. ASB32b is located on the most southern door on the east side of the building. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All Brown coloured Caulking within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

In summary, Asbestos was detected at concentrations of 0.5% or greater in two (2) suspect materials that were sampled by Englobe Corp.

The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Building and Repair Operations.

3.4 Benzene

3.4.1 Benzene Background Information

Benzene is prescribed as a Designated Substance (O. Reg. 490/09). Benzene is a colorless, highly flammable liquid with a sweet odor. Benzene is a widely used chemical formed from both natural processes and human activities. It evaporates into the air very quickly and dissolves slightly in water. Some industries use benzene to make other chemicals which are used to make plastics, resins, and nylon and other synthetic fibers. Benzene is also used to make some types of rubbers, lubricants, dyes, detergents, drugs, glues, adhesives, household cleaning products, paint strippers, paints, furniture wax, pesticides, etc. Natural sources of benzene include emissions from volcanoes and forest fires. Benzene is also a natural part of crude oil, gasoline, and cigarette smoke. Exposure to the chemical can occur through breathing contaminated air, absorption through the skin, or by ingestion. Outdoor air contains low levels of benzene from tobacco smoke, automobile service stations, exhaust from motor vehicles, and industrial emissions. Exposure can result in symptoms such as skin and eye irritations, drowsiness, dizziness, headaches, and vomiting; long-term benzene exposure causes effects on the bone marrow and can cause anemia and leukemia or even death.

3.4.2 Benzene Survey

There were no apparent sources of the chemical Benzene present in the area inspected.

3.5 Coke Oven Emission

3.5.1 Coke Oven Emission Background Information

Coke Oven Emissions are prescribed as a Designated Substance (O. Reg. 490/09). “Coke oven emissions” means the benzene soluble fraction of total particulate matter of the substances emitted into the atmosphere from metallurgical coke ovens including condensed vapours and solid particulates.

3.5.2 Coke Oven Survey

There were no sources of Coke Oven Emissions present in the area surveyed.

3.6 Ethylene Oxide Emission

3.6.1 Ethylene Oxide Background Information

Ethylene Oxide is prescribed as a Designated Substance (O. Reg. 490/09). Ethylene oxide is a flammable gas with a somewhat sweet odor that dissolves easily in water. Ethylene oxide is a man-made chemical that is used primarily to make ethylene glycol (a chemical used to make antifreeze and polyester). A small amount (less than 1%) is used to control insects in some stored agricultural products and a very small amount is used in hospitals to sterilize medical equipment and supplies.

Ethylene oxide is toxic by inhalation. Symptoms of overexposure include headache and dizziness, progressing to convulsions, seizure and coma with increasing exposure. It is also an irritant to skin and the respiratory tract and inhaling the vapors may cause the lungs to fill with fluid several hours after exposure. Ethylene oxide is classified as carcinogenic to humans. Most people are not likely to be exposed to ethylene oxide because it is not commonly found in the environment.

3.6.2 Ethylene Oxide Survey

There were no apparent sources of Ethylene Oxide present in the area surveyed.

3.7 Isocyanates

3.7.1 Isocyanates Background Information

Isocyanates are prescribed as a Designated Substance (O. Reg. 490/09). Isocyanates are a family of highly reactive, low molecular weight chemicals used in liquid form or dissolved in other liquids. Isocyanates are the raw materials that make up all polyurethane products. They are widely used in the manufacture of flexible and rigid foams, fibers, coatings such as paints and varnishes, and elastomers, and are increasingly used in the automobile industry, auto body repair, and building insulation materials. Spray-on polyurethane products containing isocyanates have been developed for a wide range of retail, commercial, and industrial uses to protect cement, wood, fiberglass, steel and aluminum, including protective coatings for truck beds, trailers, boats, foundations, and decks. The isocyanates in single-component coating products are already chemically reacted, so that very little of the raw isocyanate remains; thus they are fairly safe even during application. Two-component coating products contain unreacted isocyanates and are usually much more hazardous to work with. The finished product is almost non-toxic, unless it is burned or caused to generate a dust. Any polyurethane material will give off isocyanates and other highly toxic substances if it is burned or welded. Exposure to isocyanates may occur during painting, foam-blowing, and the manufacture of many polyurethane products. Health effects of isocyanate exposure include occupational asthma and other lung problems, as well as irritation of the eyes, nose, throat, and skin. Isocyanates include compounds classified as potential human carcinogens.

3.7.2 Isocyanates Survey

There were no apparent sources of Isocyanates present in the area surveyed.

3.8 Lead

3.8.1 Lead Background Information

Lead is prescribed as a designated substance (O. Reg. 490/09). The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows:

- ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-level lead paints or surface coatings.

- ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings.
- ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings.

In the past, lead was a common ingredient of paint because it added strength, shine and extended the life of the paint. Lead was also commonly used in water pipes, solder, natural gas pipes, plastics, jewelry, glazing, batteries, bullets, and leaded gasoline etc. The use of lead in interior and exterior paints was banned in the late 1970's and products containing lead are controlled and/or prohibited under the Hazardous Products Act. Lead based paints may have been used on the interior or exterior walls of the existing building, however, this usually does not become an issue unless demolition work or renovation work is being considered or if the paint is in poor condition (i.e. peeling or flaking) and/or poses a threat to human health. During these operations care must be taken to ensure that lead paint does not become air borne dust through improper removal operations (i.e. scraping, manual or power sanding, sand blasting, sweeping etc.); that lead in paint does not become present in vapours, fumes or mist through removal operations (i.e. heat guns, chemical strippers, oxy-acetylene torch cutting, etc.); or that lead paint dust and/or particles are not left on the ground surface. Lead ingested even in trace amounts can be extremely toxic and can affect most of the body's biological systems: the blood, kidneys, gastrointestinal tract, brain, nervous system, and reproductive system. Infants and young children are especially at risk to lead poisoning as they absorb lead more easily than adults.

3.8.2 Lead Survey

Based on the Occupational Health and Safety Act, it is the responsibility of the employer to protect the worker. In addition, section 30 of the OHS Act deals with the presence of designated substances on construction projects. Since lead is a designated substance (R.S.O. 2009, Reg. 490/09), compliance with the OHS Act and Regulations will require some action to be taken where there is a lead hazard on a construction project. Section 30 requires the owner of a project to determine if lead is present on a project and, if it is, to so inform all potential contractors as part of the bidding process. In a similar way, contractors who receive this information are to pass it onto other contractors and subcontractors who are bidding for work on the project. If the owner or any contractor fails to comply with this requirement, they will be liable for any loss or damages that result from a contractor subsequently discovering that lead is present. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows:

- ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-level lead paints or surface coatings
- ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings.
- ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings

The Ministry of Labour's designated substance regulation (DSR) for lead, Regulation 490/09, specifies occupational exposure limits (OELs) for lead, and requires assessment and a control program to ensure compliance with these OELs. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average.

A visual inspection of the areas specified by the Client was carried out and data was collected in regards to the various paints present. This data was reviewed, and a representative number of paint samples were selected for laboratory analysis for lead content. Dependent upon the age of a structure, it may have been repainted numerous times, using different types of paints on different surfaces, at different times. An attempt was made to select samples for lead content analysis such that each visible color and style of paint was included in the analysis, however, there is no guarantee that all different paints at this site were accurately identified and sampled (i.e. not all painted surfaces were sampled). It should be further noted that paint samples were obtained from easily accessible locations only and if there were several layers of paint present, the sample contained each layer of paint. While samples are identified by the visible layer sampled, the presence of lead based paint may be in an undercoating. The analytical test result does not delineate which layer(s) of paint actually contains lead when present. Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.

Painted surfaces in this structure should therefore be treated as containing lead unless the specific surface has been tested and shown to be otherwise.

Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.

See Appendix 2 and 3 for additional information on sample locations and specific results for each sample.

3.9 Mercury

3.9.1 Mercury Background Information

Mercury is a Designated Substance (O. Reg. 490/09). Mercury is an element that occurs naturally throughout our solar system. On Earth, geological deposits are most often found in the form of cinnabar, a mercury sulfide mineral. Mercury is the only metal that is a liquid at room temperature and it evaporates, or vaporizes, relatively easily. Mercury can also combine with other metals to make amalgams, or solutions of metals, and has been used in the extraction of gold because of this property. In the environment, mercury can migrate between various media, such as air, soil, and water. In most chemical forms, mercury is a neurotoxin which can cause damage to the brain, central nervous system, kidneys, and lungs. The severity of mercury's toxic effects depends on the form and concentration of

mercury and the route of exposure. Products containing mercury include batteries, thermometers, measuring devices (i.e. barometers, hygrometers, etc.), thermostats, dental amalgam, switches/relays, and lamps. Cigarette smoke also contains mercury. Mercury may also be present in some paints in minute quantities. Mercury was used in paints as an anti-microbial pesticide or preservative in order to prevent mould growth. This practice ceased more than 10 years ago. The presence of mercury in paint should pose virtually no health risks as once a mercury-containing paint has cured, the mercury is incorporated into the paint matrix and cannot be released.

3.9.2 Mercury Survey

Mercury is present in some thermostats. One (1) mercury and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during the investigation. Mercury may be present in paints and/or adhesives in stable bonded form and in fluorescent lights which were noted on the Site.

The Ministry of Labour Guideline: A Guide to the Mercury Regulation (ISBN 0779407539) can be referred to in the development of a management plan. Mercury is also defined as a hazardous material under O. Reg. 347 General Waste Management (as amended) and, as such, there are specific transport and disposal requirements associated with mercury. The US EPA recommends the following general clean-up and disposal guidelines:

“Before Clean-up: Ventilate the Room. Have people and pets leave the room, and don't let anyone walk through the breakage area on their way out. Open a window and leave the room for 15 minutes or more. Shut off the central forced-air heating/air conditioning system, if there is one.”

“Clean-Up Steps for Hard Surfaces. Carefully scoop up glass fragments and powder using stiff paper or cardboard and place them in a glass jar with metal lid (such as a canning jar) or in a sealed plastic bag. Use sticky tape, such as duct tape, to pick up any remaining small glass fragments and powder. Wipe the area clean with damp paper towels or disposable wet wipes and place them in the glass jar or plastic bag. Do not use a vacuum or broom to clean up the broken bulb on hard surfaces.”

“Clean-up Steps for Carpeting or Rug. Carefully pick up glass fragments and place them in a glass jar with metal lid (such as a canning jar) or in a sealed plastic bag. Use sticky tape, such as duct tape, to pick up any remaining small glass fragments and powder. If vacuuming is needed after all visible materials are removed, vacuum the area where the bulb was broken. Remove the vacuum bag (or empty and wipe the canister), and put the bag or vacuum debris in a sealed plastic bag.”

“Disposal of Clean-up Materials. Immediately place all cleanup materials outside the building in a trash container or outdoor protected area for the next normal trash. Wash your hands after disposing of the jars or plastic bags containing clean-up materials. Check with your local government about disposal requirements in your specific area.”

“Future Cleaning of Carpeting or Rug: Ventilate the Room During and After Vacuuming. The next several times you vacuum, shut off the central forced-air heating/air

conditioning system and open a window prior to vacuuming. Keep the central heating/air conditioning system shut off and the window open for at least 15 minutes after vacuuming is completed.”

3.10 Silica

3.10.1 Silica Background Information

Silica is a Designated Substance (O. Reg. 490/09). The chemical compound silicon dioxide, also known as silica or silox, is an oxide of silicon, known for its hardness. Silica is most commonly found in nature as sand or quartz. It is a principal component of most types of glass, white ware ceramics, and substances such as concrete and silica gel, and is also used in microelectronics. Inhaling fine crystalline silica dust in very small quantities over time can lead to silicosis, bronchitis or, more rarely, cancer, as the dust becomes lodged in the lungs and continuously irritates them, reducing lung capacities as silica does not dissolve over time. This effect can be an occupational hazard for people exposed to sources of silica. In all other respects, silicon dioxide is inert and harmless. Workers are possibly exposed to crystalline silica dust in many trades and industries, including mining, tunneling, quarrying, masonry, metal foundries and ship and bridge repair. Activities that can produce significant amounts of crystalline silica dust include: abrasive blasting using crystalline silica or material containing crystalline silica; chipping and hammering of rock or materials containing silica; blasting, crushing, loading, shoveling and dumping of rock or materials containing crystalline silica; demolition of materials containing crystalline silica; dry sweeping of materials containing crystalline silica; or using compressed air to clean material containing crystalline silica.

3.10.2 Silica Survey

Sources of silica in the area inspected included glass, ceramics, and microelectronics. Silica may also be present in concrete, grouts and mortars. There do not appear to be any operations ongoing in this area that would result in the production of dusts containing silica.

The Ministry of Labour Guideline: Silica on Construction Projects can be referred to in the development of a management plan.

Silica, Crystalline Exposure Limits (O. Reg. 490):

- ▶ Quartz/Tripoli /Quartz [14808-60-7; 1317-95-9]: Time-Weighted Average 0.10 mg/m³ (Respirable).
- ▶ Cristobalite [14464-46-1]: Time-Weighted Average 0.05 mg/m³ (Respirable).

3.11 Vinyl Chloride

3.11.1 Vinyl Chloride Background Information

Vinyl chloride is prescribed as a designated substance (R.S.O. 2009, Reg. 490/09). Vinyl chloride is an important industrial chemical chiefly used to produce its polymer, polyvinyl chloride (PVC). It is a manufactured substance that does not occur naturally. At room temperature, vinyl chloride is a toxic, colorless gas with a sickly sweet odor. Vinyl chloride is a chemical intermediate and is not a final product. Due to the hazardous nature of vinyl chloride to human health there are no end products that use vinyl chloride in its monomer form. Once vinyl chloride has been polymerized it is very stable and non-hazardous and can be used for a great number of end products. The final product of the polymerization process is PVC in either a flake or pellet form. From its flake or pellet form PVC is heated and molded into end products such as PVC pipe and bottles. Vinyl chloride is also used as a refrigerant and in organic synthesis reactions. Exposure to vinyl chloride occurs mainly in the workplace where it is used in a manufacturing process. Vinyl chloride is a known carcinogen. Breathing high levels of vinyl chloride for short periods of time can cause dizziness, sleepiness, unconsciousness, and at extremely high levels can cause death. Breathing vinyl chloride for long periods of time can result in permanent liver damage, immune reactions, nerve damage, and liver cancer.

3.11.2 Vinyl Chloride Survey

There were no apparent sources of the chemical Vinyl Chloride present in the area surveyed. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.

4 Conclusions

Englobe Corp. was retained by The Corporation of the Town of Kearney to complete a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The study was carried out in accordance with the intent of our Proposal No. 2020-P152-091 and included the Designated Substances as defined under the *Occupational Health and Safety Act*. The purpose of the study was to determine the absence or presence of designated substances which may require special handling and/or disposal prior to or during demolition, renovations and/or equipment removal operations as required under the OHSA. The results of the study can be used as the basis for the development of management plans and quantification surveys if necessary.

The results of Englobe's survey indicate the following:

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Acrylonitrile	Possibly present in stable form in some manufactured products.	None.
Arsenic	Possibly present in stable form in paints and/or adhesives.	None.
Asbestos	Asbestos was detected at concentrations of 0.5% or greater, in two (2) the suspect materials sampled by Englobe Corp: 3. <u>Vinyl Tile</u> – 4.0% Chrysotile 4. <u>Caulking</u> – 0.5-1.0% Chrysotile	The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations. Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing materials unless tested and proven otherwise.
Benzene	Possibly present in stable form in paints and/or adhesives.	None.
Coke Oven Emissions	Not identified in subject area of survey.	None.
Ethylene Oxide	Not identified in subject area of survey.	None.
Isocyanates	Not identified in subject area of survey.	None.
Lead	A total of nine (9) paint samples were obtained from throughout areas of the survey. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows: ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-	The level of lead detected in the paint or surface coatings will dictate how they are to be treated, as defined in the EACO Lead Guideline, dependent upon the aggressiveness of disturbance of the material (i.e. the potential for dust production). Painted surfaces in this structure should therefore be treated as containing lead unless the specific surface has been

SUBSTANCE	COMMENTS	RECOMMENDATIONS
	<p>level lead paints or surface coatings.</p> <ul style="list-style-type: none"> ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings. ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings. <p>Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.</p> <p>Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.</p>	<p>tested and shown to be otherwise. Any work (renovation, demolition, etc.) involving lead containing coatings or other materials containing lead must be done so in a manner that minimizes fine dust production or fumes. The concentration of lead in air should not exceed the occupational exposure limits (OELs) for lead. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average. Renovation/demolition work may disturb lead containing coatings. The publication <i>Lead on Construction Projects</i>, September 2004, produced by the Ministry of Labour can be used as a guideline. Demolition debris that is coated with lead coatings must be disposed of in a registered waste facility licensed to accept the debris. Recycling of materials with lead coatings may require the removal of the coating prior to reuse.</p>
Mercury	<p>Mercury is present in some thermostats. One (1) mercury containing thermostat and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during this investigation. Mercury vapour is likely present in fluorescent lights observed in the building.</p> <p>Mercury may be present in paints and/or adhesives in stable form.</p>	<p>Mercury or mercury vapour does not pose a risk to building occupants or workers provided that the container remains intact. Complete removal of mercury containing equipment should be carried out prior to renovations or demolition by trained individuals.</p> <p>The publication “A Guide to the Mercury Regulation” produced by the Ministry of Labour can be used as a guideline.</p>
Silica	<p>Silica is likely present in brick, concrete, cement, mortar, grout, and/or ceramic tiles.</p>	<p>Any work involving silica containing materials must be done so in a manner that minimizes fine dust production. Workers carrying out demolition or renovation operations where airborne silica levels are expected to exceed 0.05 mg/m³ should be protected through the use of respirators, misting, and a worker wash station.</p> <p>The Ministry of Labour Guideline: <i>Silica on Construction Projects</i> can be referred to in the development of a management plan.</p>

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Vinyl Chloride	Vinyl Chloride was not present in pure chemical form. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.	None.

Please see Section 5.0: Limitations of the Survey.

5 Limitations of Survey

This report has been prepared specifically and solely for the subject site at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The factual information, observations, comments and recommendations contained herein have been prepared on behalf of and for the exclusive use of the Client and their design team and may not be reused by any other party without express consent of Englobe Corp. and the client. The scope of work carried out for this investigation, as authorized by the client, may not be appropriate to satisfy the requirements of others and, as such, Englobe Corp. accepts no liability or responsibility whatsoever for or in respect of any use of, or reliance upon, this report by any third party.

The investigation and subsequent findings were developed in accordance with currently accepted engineering standards and practices for environmental investigations. It contains all of our findings and our assessment of the apparent environmental conditions, relative to the specific designated substances and other defined hazardous materials, at this site at a specific point in time, based on information available at the time of writing, visual observations, the results of specific analytical tests on samples obtained from specific locations, and our understanding of the past and present use of the site.

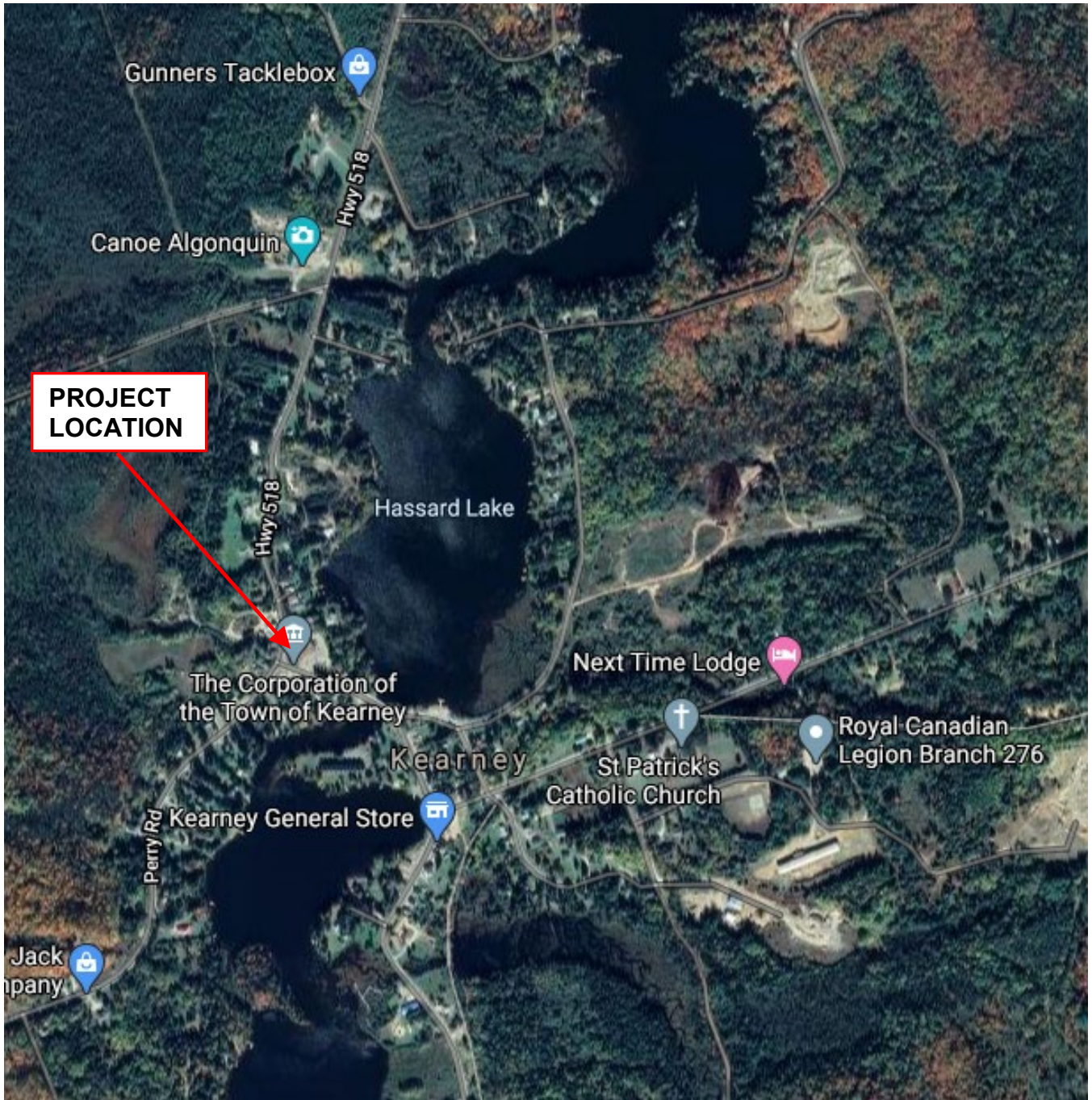
It should be noted that for an investigation of this nature it is not possible, even with exhaustive research, interviews and analysis, to identify all potential past occurrences of environmental impact or possible contaminants on this site. As such, there is no warranty, expressed or implied, by Englobe Corp. that this investigation has uncovered all potential designated substances on the site, or that latent or undiscovered conditions will not become evident in the future. The assessment and conclusions were based, in part, upon data obtained from individuals knowledgeable with the site and existing available data. Englobe Corp. relied on anecdotal information and historical data as supplied by all parties as accurate, unless contradicted by written documentation or conditions as observed in the field. Englobe Corp. accepts no responsibility for any misstatements, inaccuracies, or deficiencies contained in this report as a result of inaccurate or incomplete data supplied by such parties, or omissions, misinterpretations or fraudulent acts of the parties contacted or interviewed. Visual assessments were based solely on observations at locations easily accessible at the time of the investigation. Furthermore, our review of the site was carried out at a specific point in time and, as such, impacts of future events or site activities, or the manifestation of latent or undiscovered conditions, may require further exploration at the site and subsequent data analysis, and re-evaluation of the observations, assessments and conclusions expressed in this report. Englobe Corp. will not be held responsible for any real or perceived decrease in property value, its salability, or the ability to gain financing as a result of the factual information and comments contained herein.

We believe, however, that the level of detail carried out in this investigation is appropriate, as agreed by the parties, and in regards to the available time frames, site history, and the character of the site, the physical setting, land use and activities. If relevant material comes to light that may alter the conclusions of this report, this office must be contacted immediately.

We trust the comments contained in this report are sufficient for your present requirements. However, should you have any queries, or if we could be of further assistance to you, please do not hesitate to contact the report author.

Appendix 1 Drawings

MACRO KEY PLAN



Not To Scale

DESIGNATED SUBSTANCES SURVEY

Kearney Community Centre
8 Main Street, Kearney, Ontario

Englobe Corp. Reference No.: P-0022663-0-00-200-01



MICRO KEY PLAN



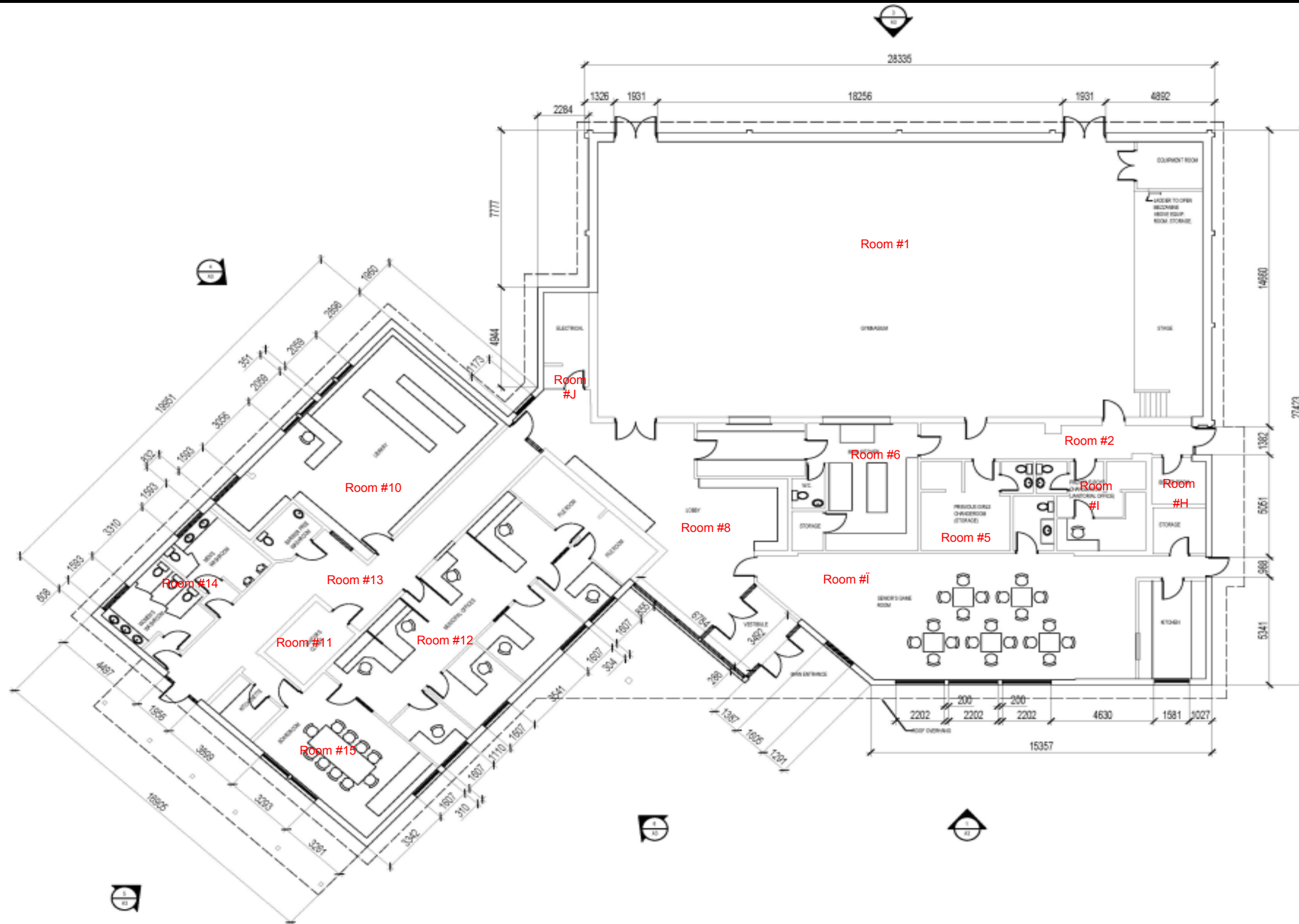
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DESIGNATED SUBSTANCES SURVEY

Kearney Community Centre
8 Main Street, Kearney, Ontario

Englobe Corp. Reference No.: P-0022663-0-00-200-01





Township of Kearney



Englobe Corp.
 2-120 Progress Court
 North Bay, Ontario, P1A 0C2
 705-476-2550



No scale

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Seal

Designated Substances Survey
 Kearney Community Centre, 8 Main Street
 Kearney, Ontario

Sample Location Plan

00	DRAFT	2020/07/17	SC	SC	JRB
No.	Version	Date	By	Verif	Appr.
Discipline:	Environment	Prepare by:	SC	Verify by:	SC
Scale:	Not To Scale	Draw by:	SC	Approval by:	JRB
Date:	2020/07/17	Drawing no.:			2
Page setup:	Paper size:	Register no.:			
ANSI B-LAN (MM)	17.00 X 11.00 in.				
Man.	Project	Otp	Project	Phase	Electronic ref.
JRB	P-0022663	---	EN	-	-----
					00

Appendix 2 Room Survey and Sample Results

ROOM SURVEY AND SAMPLE RESULTS

During the inspection, data was collected in regards to the material, the location (room number and floor), the degree to which the material can become pulverized (friability), the condition (condition rating), and the potential of the material being accessed by building occupants (disruption rating). In regards to ACMs, the materials were identified as friable/non-friable and provided with a condition rating and disruption factor (i.e. the ease of which the material can be accessed by building occupants). By adding the two ratings together, it can be easily determined which materials require immediate attention (i.e. the higher the sum, the greater the degree of urgency to treat/remove the material). For example an ACM in good condition that is concealed, would have a total rating of 2. An ACM that is in poor condition and is easily accessible would receive a total rating of 6.

Condition Rating

- 1 – Good
- 2 – Fair
- 3 – Poor

Disruption Rating

- 1 – Not accessible or encapsulated
- 2 – Accessible by maintenance staff
- 3 – Accessible by all

Friability – A material is considered to be friable if it can be crushed or ground to dust with hand pressure.

Note: Materials that serve as fixtures to a building and which can be easily removed prior to upgrades or demolition were not sampled (i.e. doors, cupboards). The survey is representative in nature, and contains sufficient information to prepare a Designated Substances Management Plan. To ascertain quantities of materials containing designated substances, a quantity survey would be required.

Sample identifier numbers preceded by “ASB” were tested for asbestos content. Sample identifier numbers preceded by “PB” were tested for lead content.

Sample sets (i.e. samples of the same suspect material) are identified with the same number but followed by “A”, “B”, or “C”. The suspect material was sampled from three different locations. There may however only be one picture depicting the suspect material.

In the majority of sampling procedures it is unavoidable to obtain a sample without also sampling the substrate the sample is adhered to. Samples followed by an asterisks (*) indicates substrate interference as noted by the laboratory.

Sample identifier numbers followed with ‘i’ are sub-layers identified by the laboratory during analysis. There may not be a photo associated with these samples as the layer was not visible until separated at the laboratory.

A site sketch including the floor layout of the building is included as Drawing No. 1 in Appendix 1.

It is noted that the field description may differ somewhat from the laboratory description of the materials sampled, however the sample is the same.

Please note that ASB13 samples were omitted from the report and are not missing.

During the asbestos survey, a representative number of suspect asbestos containing materials were sampled from the areas investigated and submitted for analysis. If suspect materials were similar (i.e. Vinyl Floor Tiles) but differed in some manner (i.e. color, texture, pattern, etc.) these items were treated as individual materials as there was no information available to indicate otherwise (i.e. date of installation, manufacturer, etc.). A total of sixteen (16) suspect materials were identified by Englobe Corp. and the laboratory:

1. Insulation;
2. Vinyl Tile;
3. Fiberboard;
4. Drywall Joint Compound;
5. Construction Mastic;
6. Carpet Adhesive;
7. Mortar;
8. Ceiling Tile;
9. Plaster;
10. Leveling Compound;
11. Caulking;
12. Foam Insulation;
13. Tar;
14. Roofing Shingle;
15. Drywall; and,
16. Felt/Tar Paper.

Vinyl Floor Tile: 4.0% Chrysotile. Non-Friable. White. *Sample ASB21b*, located below the carpet in Room #12 in northwest corner. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.







All White coloured Vinyl Floor Tiles within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.










Caulking: 0.5 – 1.0% Chrysotile. Non-Friable. Brown. *Sample ASB32a and ASB32b*, located at the exterior of the building. ASB32a was located on the east side of the building next to the visitor centre entrance. ASB32b is located on the most southern door on the east side of the building. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All Brown coloured Caulking within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

In summary, Asbestos was detected at concentrations of 0.5% or greater in two (2) suspect materials that were sampled by Englobe Corp.

NOTE: Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing material unless tested and proven otherwise. Those materials that have been identified to be asbestos containing must be treated as asbestos containing materials throughout the structure, unless tested and proven otherwise. Refer to the full list for confirmed ACMs potentially present in the building.

LOCATION/AREA:		Level 2 – Attic # 1 – Access via Gymnasium				PHOTOS: 01 – 06			
Notes									
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.									
Overview of Access Hatch			Overview Facing East			Overview Facing North			
									
01			02			03			
									
04			05			06			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
South Side of Attic	Insulation	Grey	ASB01a	None Detected	04	Friable	1	2	-
North Side of Attic	Insulation	Grey	ASB01b	None Detected	05	Friable	1	2	-
Ductwork - Centre of Attic	Foam Insulation	Yellow	ASB20a	None Detected	06	Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 1 – Gymnasium	PHOTOS: 07 – 21
Notes		
<p>Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One(1) Non-Mercury Containing Thermostat was observed on south wall.</p>		
<p style="text-align: center;">Overview Facing East</p>  <p style="text-align: center;">07</p>	<p style="text-align: center;">Non-Mercury Containing Thermostat</p>  <p style="text-align: center;">08</p>	<p style="text-align: center;">Borehole Advanced Through North Wall Layers</p>  <p style="text-align: center;">09</p>
<p style="text-align: center;">Borehole Advanced Through Floor Layers</p>  <p style="text-align: center;">10</p>	 <p style="text-align: center;">11</p>	 <p style="text-align: center;">12</p>
 <p style="text-align: center;">13</p>	 <p style="text-align: center;">14</p>	 <p style="text-align: center;">15</p>

LOCATION/AREA:	Level 1 – Room # 1 – Gymnasium (Continued)	PHOTOS: 07 – 21
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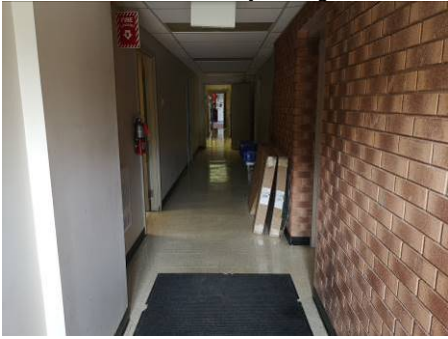





Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One(1) Non-Mercury Containing Thermostat was observed on south wall.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor - Below Stage	Vinyl Tile (12"x12")	Pink	ASB02a	None Detected	11	Friable	1	2	-
Floor – Near Gym Door Along South Wall	Vinyl Tile (12"x12")	Pink	ASB02b	None Detected	12	Friable	1	2	-
Floor – Stairs to Gym Stage	Vinyl Tile (12"x12")	Pink	ASB02c	None Detected	13	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03a	None Detected	11	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03b	None Detected	11	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03c	None Detected	11	Friable	1	2	-
North Wall - East Door	Baseboard Mastic	White	ASB04a	None Detected	14	Friable	1	2	-
South Wall - South East Door	Baseboard Mastic	White	ASB04b	None Detected	15	Friable	1	2	-
South Wall - South West Door	Baseboard Mastic	White	ASB04c	None Detected	16	Friable	1	2	-
Ceiling Above Stage	Drywall Joint Compound	White	ASB05a	None Detected	17	Friable	1	2	-
Below ASB02b	Construction Mastic	Yellow	ASB06a	None Detected	11	Non-Friable	1	2	-

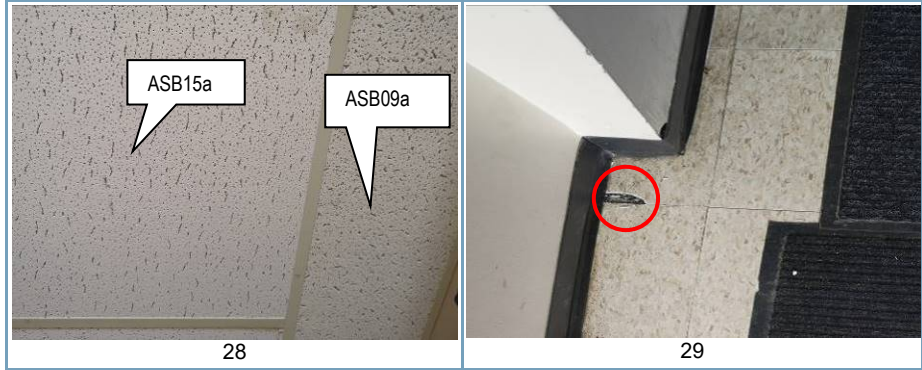
LOCATION/AREA:		Level 1 – Room # 1 – Gymnasium (Continued)					PHOTOS: 07 – 21			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Below ASB02a	Construction Mastic	Yellow	ASB06b	None Detected	12	Non-Friable	1	2	-	
Below ASB02b	Construction Mastic	Yellow	ASB06c	None Detected	13	Non-Friable	1	2	-	
South Wall	Mortar	Grey	ASB10c	None Detected	18	Non-Friable	1	3	-	
Painted Tile on North Wall	Ceiling Tile (2'x4')	Brown	ASB15c	None Detected	19	Non-Friable	1	2	-	
South Side of Stage	Wall Paint	Grey	PB01	<77 ppm	20	-	-	-	-	
Ceiling	Ceiling Paint	White	PB02	<66 ppm	21	-	-	-	-	

LOCATION/AREA:		Level 1 – Room # 2 – Hallway		PHOTOS: 22 – 29	
<u>Notes</u>					
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) Mercury Containing Thermostat was observed on the south wall.					
Overview of Hallway Facing West		Mercury Containing Thermostat		Borehole Advanced Through Ceiling Layers	
					
22		23		24	
					
25		26		27	

LOCATION/AREA:	Level 1 – Room # 2 – Hallway (Continued)	PHOTOS: 22 – 29
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) Mercury Containing Thermostat was observed on the south wall.

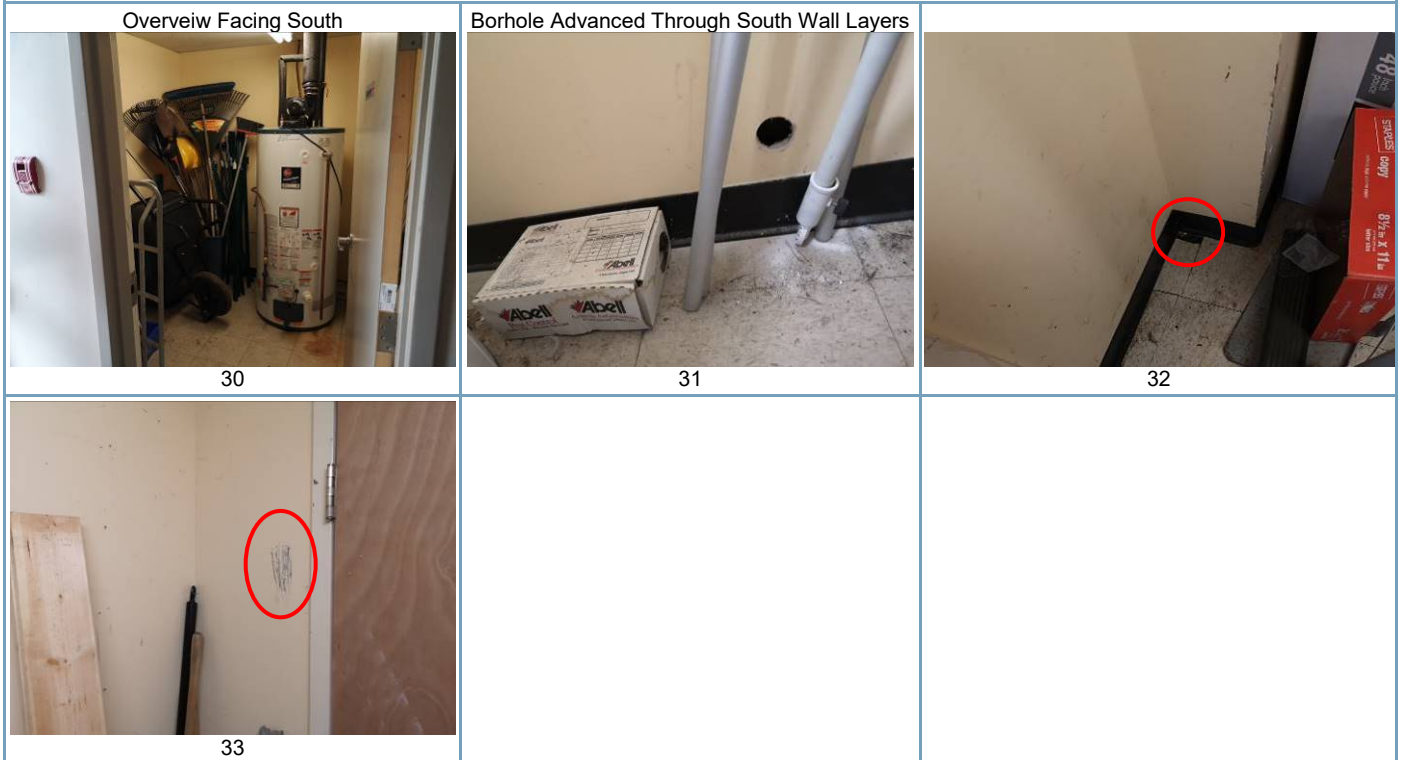


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07a	None Detected	25	Non-Friable	1	2	-
North Wall	Brick Mortar	Brown	ASB08a	None Detected	26	Non-Friable	1	3	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB09a	None Detected	28	Friable	1	2	-
North Wall	Block Concrete Mortar	Grey	ASB10a	None Detected	27	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	Beige	ASB11a	None Detected	29	Non-Friable	1	3	-
Sublayer of ASB11a, Identified by the Laboratory	Construction Mastic	Black	ASB11ai	None Detected	29	Non-Friable	1	2	-
Floor – Below Vinyl Tile	Construction Mastic	Black	ASB12a	None Detected	29	Non-Friable	1	3	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB15a	None Detected	28	Friable	1	2	-




LOCATION/AREA:	Level 1 – Room # 3 – Hot Water Tank Room	PHOTOS: 30 – 33
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



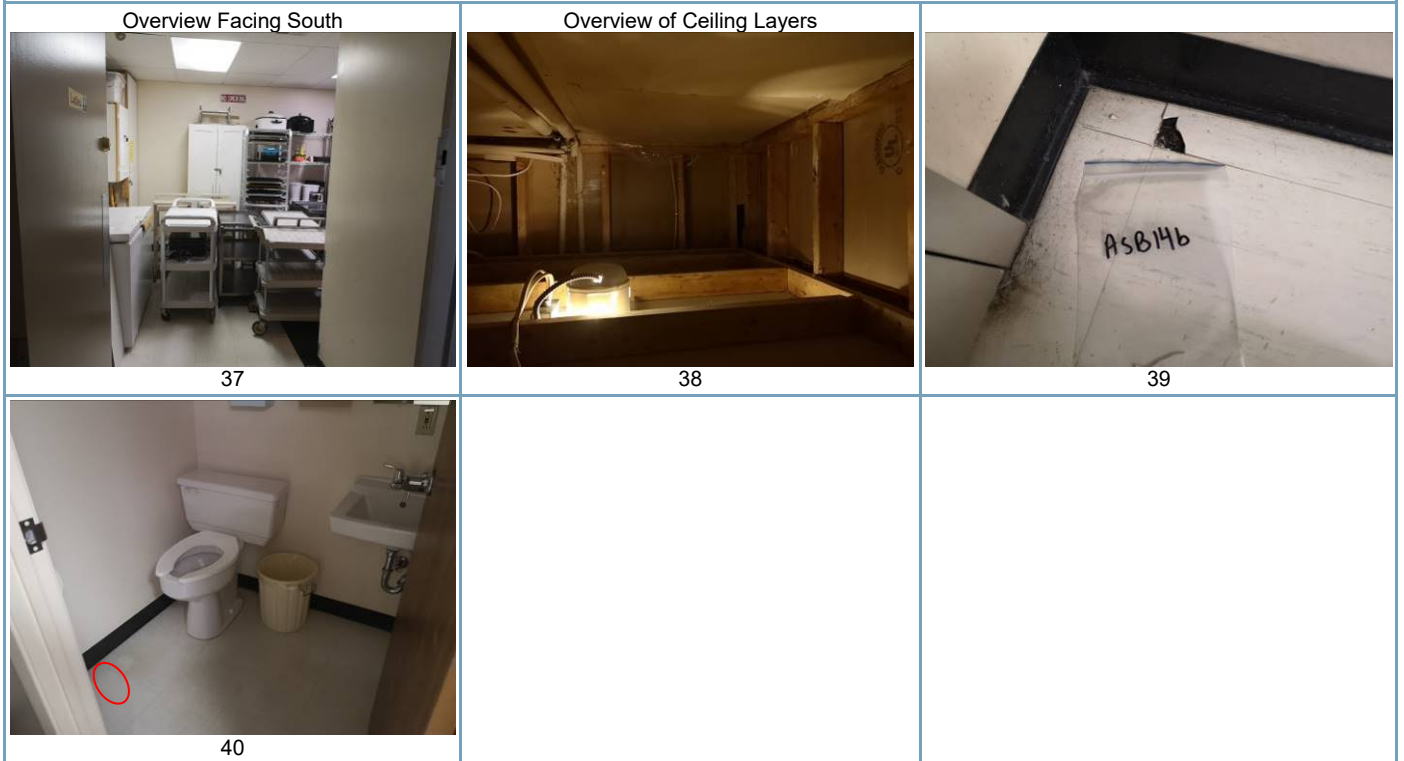
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Vinyl Tile (12"x12")	Beige	ASB11b	None Detected	32	Non-Friable	1	3	-
Sublayer of ASB11b, Identified by the Laboratory	Construction Mastic	Black	ASB11bi	None Detected	32	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Beige	ASB11c	None Detected	32	Non-Friable	1	3	-
Sublayer of ASB11c, Identified by the Laboratory	Construction Mastic	Black	ASB11ci	None Detected	32	Non-Friable	1	2	-
Floor - Below Vinyl Tile	Construction Mastic	Black	ASB12b	None Detected	32	Non-Friable	1	3	-
South Wall	Wall Paint	Yellow	PB03	<71 ppm	33	-	-	-	-

LOCATION/AREA:		Level 1 – Room # 4 – Maintenance Room				PHOTOS: 34 – 36			
Notes									
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.									
Overview Facing South			Overview of Wall Layers						
									
34			35			36			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor – Below Vinyl Tile	Construction Mastic	Black	ASB12c	None Detected	36	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	White & Grey	ASB14a	None Detected	36	Non-Friable	1	3	-

LOCATION/AREA:	Level 1 – Room # 5 – Kitchen Storage Room	PHOTOS: 37 – 40
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<u>Notes</u>

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Vinyl Tile (12"x12")	Brown	ASB14b	None Detected	39	Non-Friable	1	3	-
Sublayer of ASB14b, Identified by the Laboratory	Construction Mastic	Black	ASB14bi	None Detected	39	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB14c	None Detected	40	Non-Friable	1	3	-
Sublayer of ASB14c, Identified by the Laboratory	Construction Mastic	Black	ASB14ci	None Detected	40	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 6 – Kitchen	PHOTOS: 41 – 45
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
East Wall	Drywall Joint Compound	White	ASB05b	None Detected	43	Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16a	None Detected	44	Non-Friable	1	3	-
Sublayer of ASB16a, Identified by the Laboratory	Construction Mastic	Black	ASB16ai	None Detected	44	Non-Friable	1	2	-
East Wall	Wall Paint	Beige	PB04	<78 ppm	45	-	-	-	-

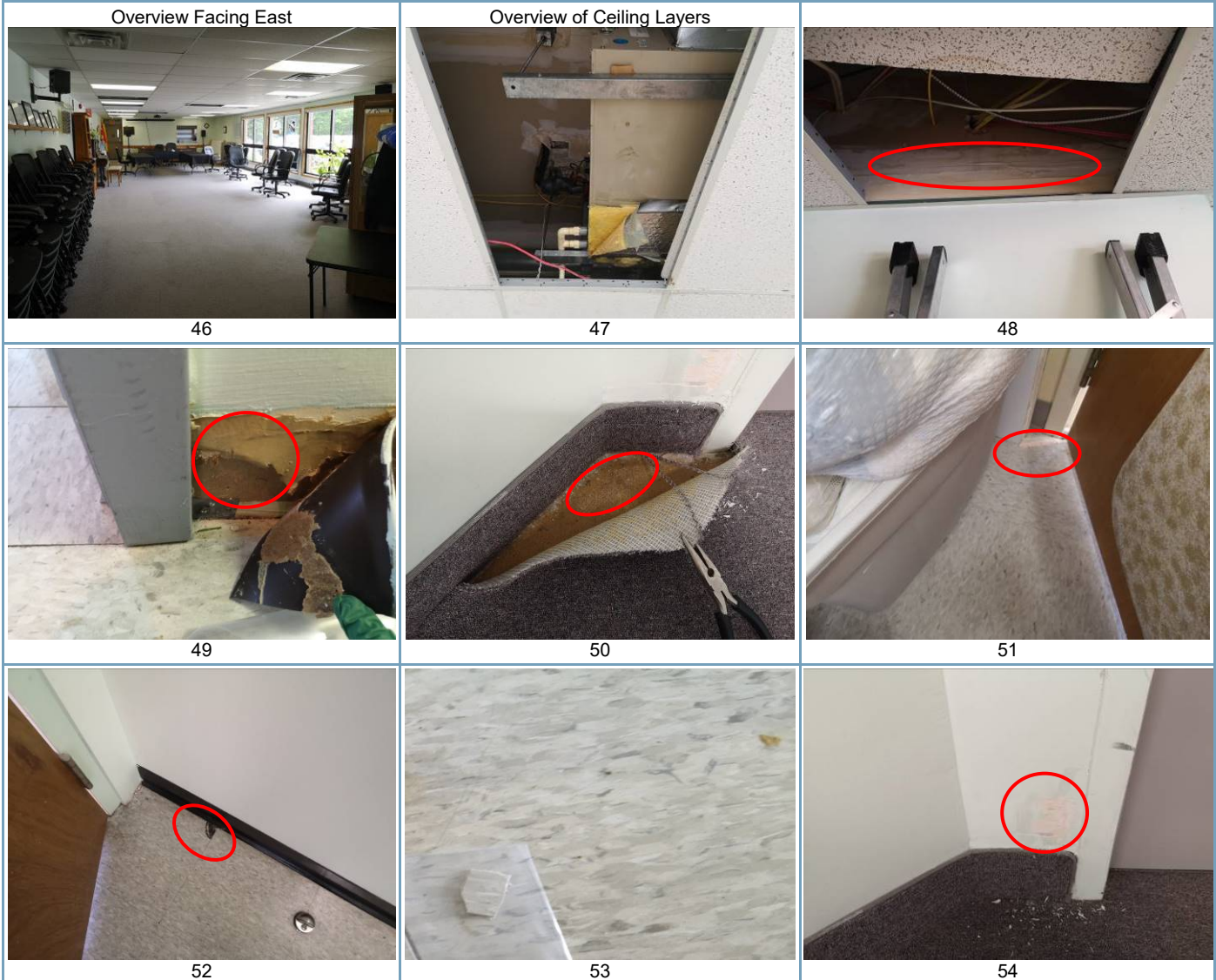
LOCATION/AREA:

Level 1 – Room # 7 – Senior’s Lounge

PHOTOS: 46 – 54

Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.





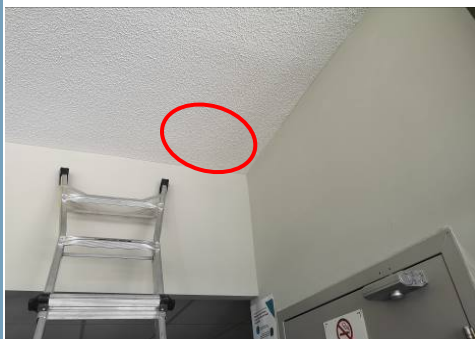


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling	Drywall Joint Compound	White	ASB05c	None Detected	48	Friable	1	2	-
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07b	None Detected	49	Non-Friable	1	2	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB09b	None Detected	48	Friable	1	2	-
Below Carpet	Carpet Adhesive	Yellow	ASB17a	None Detected	50	Non-Friable	1	2	-
Floor in Storage Room	Vinyl Tile (12"x12")	Grey	ASB18a	None Detected	51	Non-Friable	1	3	-

LOCATION/AREA:		Level 1 – Room # 7 – Senior’s Lounge (Continued)					PHOTOS: 46 – 54			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Floor in Kitchen	Vinyl Tile (12"x12")	Grey	ASB18b	None Detected	52	Non-Friable	1	3	-	
Floor in Washroom	Vinyl Tile (12"x12")	Grey	ASB18c	None Detected	53	Non-Friable	1	3	-	
Sublayer of ASB18c, Identified by the Laboratory	Leveling Compound	White	ASB18ci	None Detected	53	Non-Friable	1	2	-	
East Wall	Wall Paint	Pale Green	PB05	<66 ppm	54	-	-	-	-	


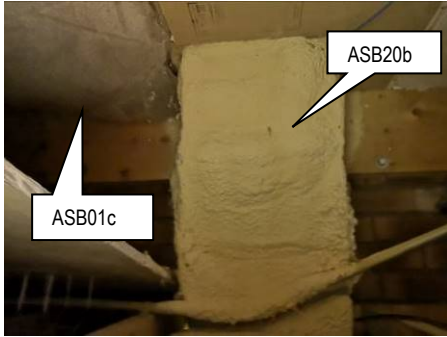
LOCATION/AREA:		Level 1 – Room # 8 – Entrance					PHOTOS: 55 – 59			
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) locked thermostat observed on the north wall in this room.

Overview Facing Southeast	Thermostat	
 55	 56	 57
 58	 59	

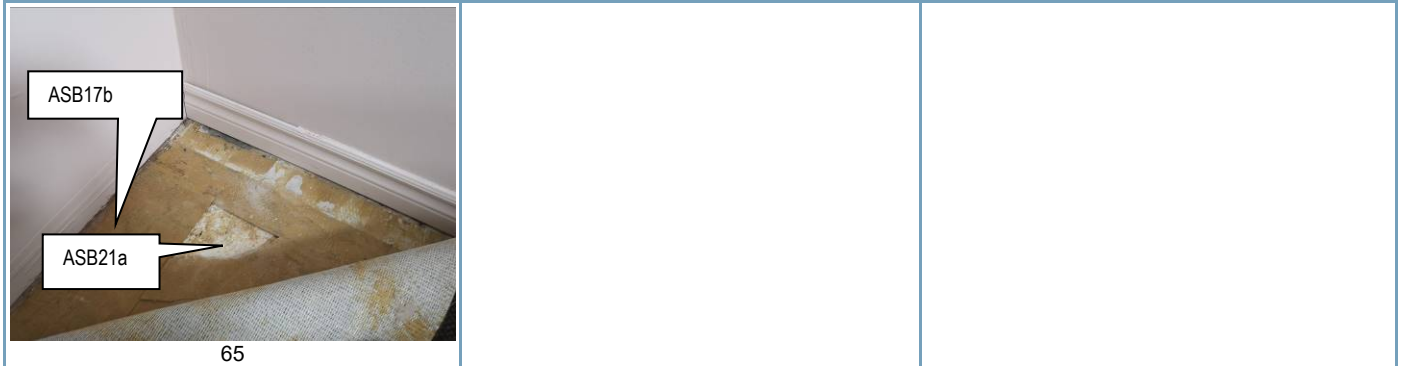
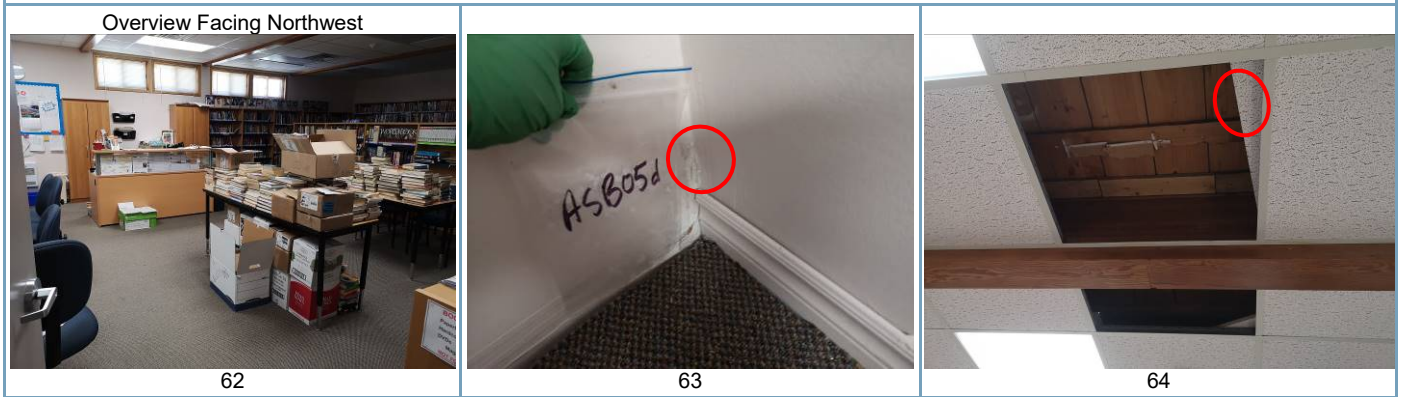
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling – Inside of Lobby	Plaster	White	ASB19a	None Detected	57	Friable	1	2	-
Ceiling – North Side	Plaster	White	ASB19b	None Detected	58	Friable	1	2	-
Ceiling – South Side	Plaster	White	ASB19c	None Detected	59	Friable	1	2	-

LOCATION/AREA:		Level 1 – Room # 9 – Closet				PHOTOS: 60 – 61			
Notes									
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.									
Overview Facing North									
 <p style="text-align: center;">60</p>					 <p style="text-align: center;">61</p>				
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Insulation	Grey	ASB01c	None Detected	61	Friable	1	2	-
East Ductwork	Foam Insulation	Yellow	ASB20b	None Detected	61	Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 10 – Library	PHOTOS: 62 – 65
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

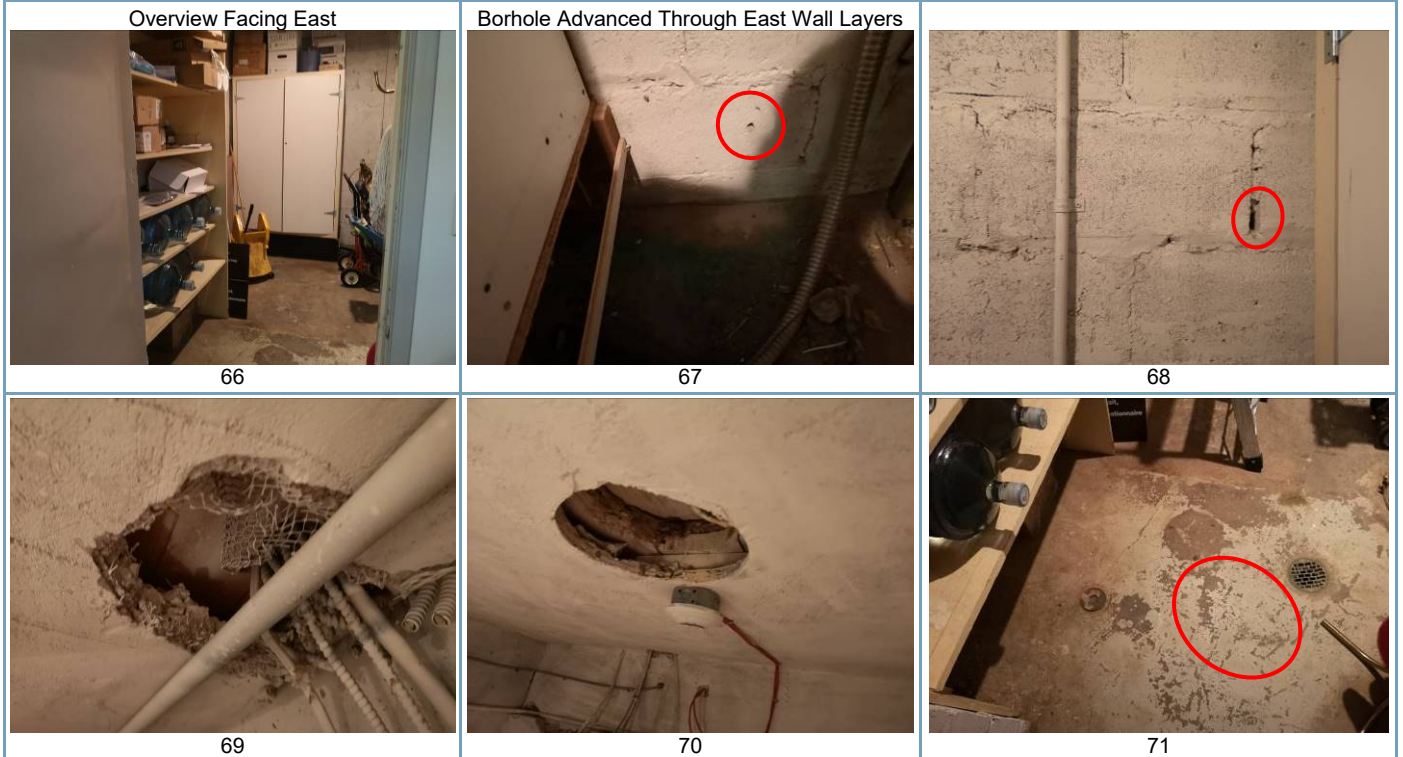


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Drywall Joint Compound	White	ASB05d	None Detected	63	Friable	1	2	-
Ceiling	Ceiling Tile (12"x12")	White & Grey	ASB15b	None Detected	64	Friable	1	2	-
Beneath Carpet	Carpet Adhesive	Yellow	ASB17b	None Detected	65	Non-Friable	1	2	-
Beneath Carpet	Vinyl Tile	White	ASB21a	None Detected	65	Non-Friable	1	2	-
Sublayer of ASB21a, Identified by the Laboratory	Construction Mastic	Yellow	ASB21ai	None Detected	65	Non-Friable	1	2	-
Sublayer of ASB21ai	Vinyl Tile	Red	ASB21aii	None Detected	65	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 11 – Mechanical Room	PHOTOS: 66 – 71
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Notes

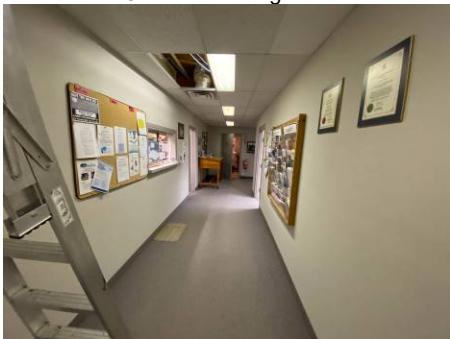


Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Block Concrete	Grey	ASB10b	None Detected	68	Non-Friable	1	3	-
Ceiling	Plaster	Grey	ASB26a	None Detected	69	Friable	1	2	-
Sublayer of ASB26a, Identified by the Laboratory	Plaster	White	ASB26ai	None Detected	69	Friable	1	2	-
Sublayer of ASB26a, Identified by the Laboratory	Drywall	White	ASB26aii	None Detected	69	Friable	1	2	-
Ceiling	Plaster	Grey	ASB26b	None Detected	70	Friable	1	2	-
Sublayer of ASB26b, Identified by the Laboratory	Plaster	White	ASB26bi	None Detected	70	Friable	1	2	-
Sublayer of ASB26b, Identified by the Laboratory	Drywall	White	ASB26bii	None Detected	70	Friable	1	2	-
Ceiling	Plaster	Grey	ASB26c	None Detected	70	Friable	1	2	-
Sublayer of ASB26c, Identified by the Laboratory	Plaster	White	ASB26ci	None Detected	70	Friable	1	2	-

<u>LOCATION/AREA:</u>		Level 1 – Room # 11 – Mechanical Room (Continued)					PHOTOS: 66 – 71			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Ceiling	Drywall	Grey	ASB27a	None Detected	69	Friable	1	2	-	
Ceiling	Drywall	Grey	ASB27b	None Detected	70	Friable	1	2	-	
Ceiling	Drywall	Grey	ASB27c	None Detected	70	Friable	1	2	-	
Floor	Wall Paint	Grey	PB06	<2,800 ppm	71	-	-	-	-	

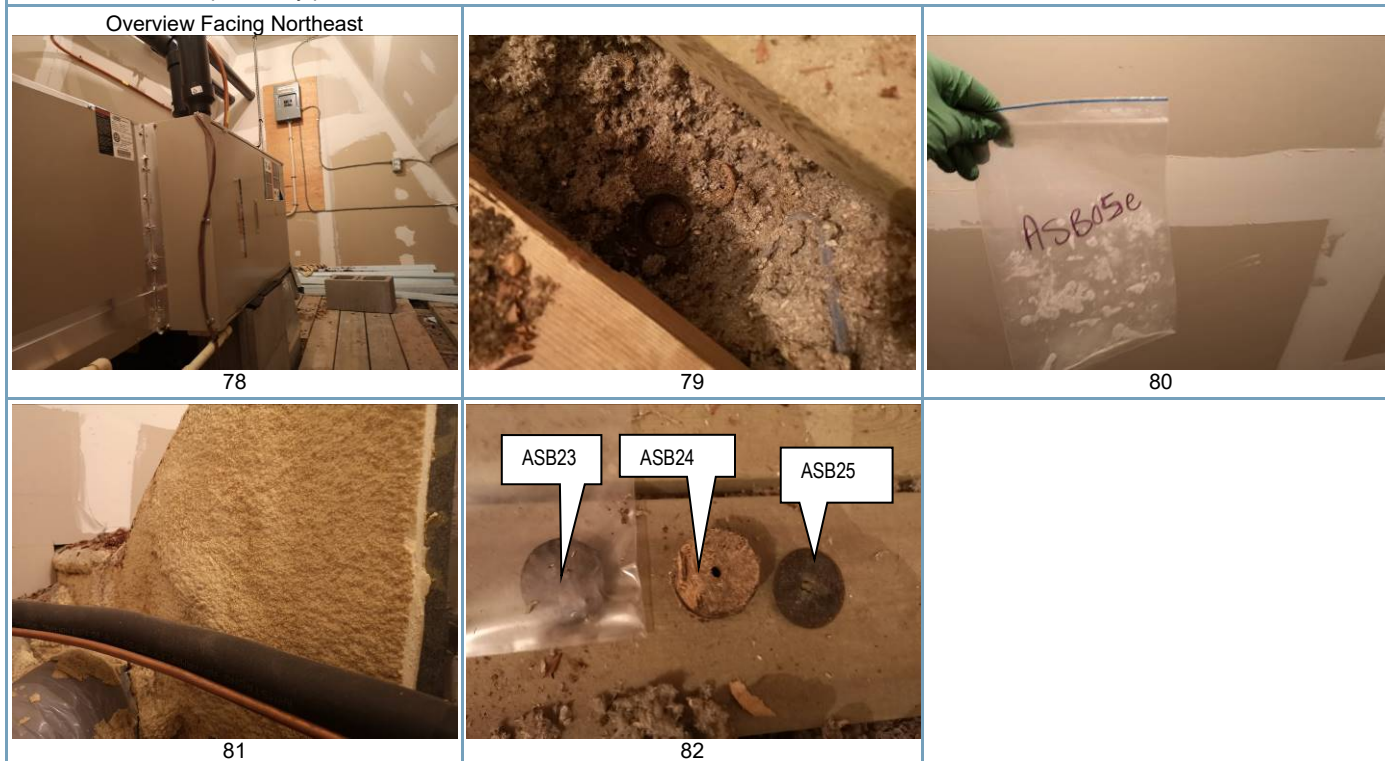
<u>LOCATION/AREA:</u>		Level 1 – Room # 12 – Offices					PHOTOS: 72 – 74			
<u>Notes</u>										
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.										
Overview Facing East			Overview of Ceiling Layers							
										
72			73				74			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Below Carpet	Carpet Adhesive	Yellow	ASB17c	None Detected		Non-Friable	1	2	-	
Below Carpet	Vinyl Tile	White	ASB21b	4.0% Chrysotile	74	Non-Friable	1	3	2 or 3	
Below Carpet	Vinyl Tile	White	ASB21c	Sample Not Analyzed, See ASB21b	74	Non-Friable	1	2	-	

LOCATION/AREA:		Level 1 – Room # 13 – Corridor					PHOTOS: 75 – 77			
Notes										
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.										
Overview Facing East			Overview of Ceiling Space							
										
75			76				77			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22a	None Detected	77	Non-Friable	1	2	-	
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22b	None Detected	77	Non-Friable	1	2	-	
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22c	None Detected	77	Non-Friable	1	2	-	










LOCATION/AREA:	Level 1 – Room # 13 – Attic #2	PHOTOS: 78 – 82
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



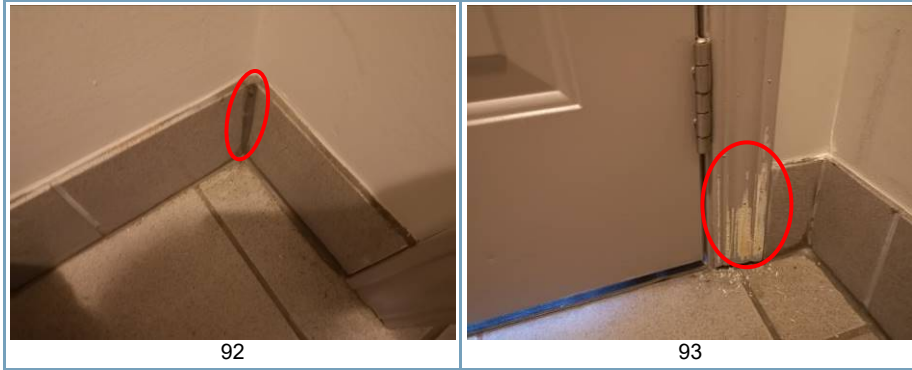
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling	Drywall Joint Compound	White	ASB05e	None Detected	80	Friable	1	2	-
Around Ductwork	Foam Insulation	Yellow	ASB20c	None Detected	81	Friable	1	2	-
Floor - First Layer	Tar	Black	ASB23a	None Detected	82	Non-Friable	1	3	-
Floor - First Layer	Tar	Black	ASB23b	None Detected	82	Non-Friable	1	3	-
Floor - First Layer	Tar	Black	ASB23c	None Detected	82	Non-Friable	1	3	-
Floor - Second Layer	Fiber Board	Brown	ASB24a	None Detected	82	Non-Friable	1	3	-
Floor -Second Layer	Fiber Board	Brown	ASB24b	None Detected	82	Non-Friable	1	3	-
Floor - Second Layer	Fiber Board	Brown	ASB24c	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25a	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25b	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25c	None Detected	82	Non-Friable	1	3	-

LOCATION/AREA:	Level 1 – Room # 14 – Washrooms	PHOTOS: 83 – 93
Notes		
<p>Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.</p>		
Overview of Multiuse Washroom Facing West	Overview of Men's Washroom Facing West	Overview of Women's Washroom Facing West
 <p>83</p>	 <p>84</p>	 <p>85</p>
 <p>86</p>	 <p>87</p>	 <p>88</p>
 <p>89</p>	 <p>90</p>	 <p>91</p>

LOCATION/AREA:	Level 1 – Room # 14 – Washrooms (Continued)	PHOTOS: 83 – 93
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.







Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Women's Washroom West Wall	Drywall Joint Compound	White	ASB05f	None Detected	86	Friable	1	2	-
Women's Washroom Ceiling	Ceiling Tile (2'x4')	Brown	ASB09c	None Detected	87	Friable	1	2	-
Multiuse Washroom Around Sink	Caulking	White	ASB28a	None Detected	88	Non-Friable	1	3	-
Sublayer of ASB28a, Identified by the Laboratory	Drywall Joint Compound	White	ASB28a	None Detected	88	Non-Friable	1	3	-
Men's Washroom Around the Sink	Caulking	White	ASB28b	None Detected	89	Non-Friable	1	3	-
Women's Washroom Around the Sink	Caulking	White	ASB28c	None Detected	90	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – West Side	Caulking	Grey	ASB29a	None Detected	91	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – East Side	Caulking	Grey	ASB29b	None Detected	92	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – East Side	Caulking	Grey	ASB29c	None Detected	92	Non-Friable	1	3	-
Door Frame	Wall Paint	Dark Beige	PB07	<42 ppm	93	-	-	-	-








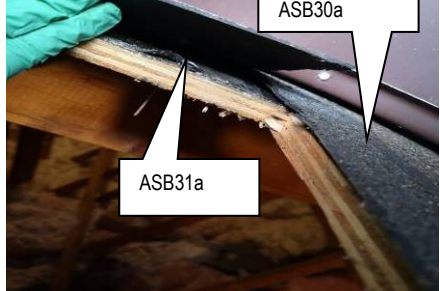

LOCATION/AREA:	Level 1 – Room # 15 – Visitor’s Centre	PHOTOS: 94 – 97
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

Overview Facing Southeast	Overview of Ceiling Layers	
 <p style="text-align: center;">94</p>	 <p style="text-align: center;">95</p>	 <p style="text-align: center;">96</p>
 <p style="text-align: center;">97</p>		

Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07c	None Detected	96	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16b	None Detected	97	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16c	None Detected	97	Non-Friable	1	3	-
Sublayer of ASB16c, Identified by the Laboratory	Construction Mastic	Black	ASB16ci	None Detected	96	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Exterior of Community Centre		PHOTOS: 98 – 112
<u>Notes</u>			
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.			
Overview of South and East Side Facing North	Overview of Northwest Side Facing West	Overview of Northeast Side Facing Northwest	
			
98	99	100	
Overview of East Side Facing West	Overview of West Side Facing East		
			
101	102		
			
		103	
			
104	105		
			
		106	

LOCATION/AREA:	Level 1 – Exterior of Community Centre (Continued)	PHOTOS: 98 – 112
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Mortar Brick	Brown	ASB08b	None Detected	103	Non-Friable	1	3	-
West Wall	Mortar Brick	Brown	ASB08c	None Detected	104	Non-Friable	1	3	-
Roof - Attic through Room 1 Vent	Roofing Shingles	Black	ASB30a	None Detected	105	Non-Friable	1	2	-
Sublayer of ASB30a, Identified by the Laboratory	Tar	Black	AB30ai	None Detected	105	Non-Friable	1	2	-
Roof - Overhang of Visitor Centre	Roofing Shingles	Black	ASB30b	None Detected	106	Non-Friable	1	2	-
Roof -Overhang of Visitor Centre	Roofing Shingles	Black	ASB30c	None Detected	106	Non-Friable	1	2	-
Roof - Attic through Room 1 Vent	Felt/Tar Paper	Black	ASB31a	None Detected	105	Non-Friable	1	2	-
Sublayer of ASB31a, Identified by the Laboratory	Tar	Black	ASB31ai	None Detected	105	Non-Friable	1	2	-
Roof - Overhang of Visitor Centre	Felt/Tar Paper	Black	ASB31b	None Detected	107	Non-Friable	1	2	-
Sublayer of ASB31b, Identified by the Laboratory	Tar	Black	ASB31bi	None Detected	107	Non-Friable	1	2	-



LOCATION/AREA:		Level 1 – Exterior of Community Centre (Continued)					PHOTOS: 98 – 112			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Roof, Overhang of Visitor Centre	Felt/Tar Paper	Black	ASB31c	None Detected	107	Non-Friable	1	2	-	
Sublayer of ASB31c, Identified by the Laboratory	Tar	Black	ASB31ci	None Detected	107	Non-Friable	1	2	-	
North Side	Caulking	Brown	ASB32a	0.5% Chrysotile	108	Non-Friable	1	3	1 or 2	
East Side	Caulking	Brown	ASB32b	1.0% Chrysotile	109	Non-Friable	1	3	1 or 2	
Sublayer of ASB32b, Identified by the Laboratory	Foam	Blue	ASB32bi	None Detected	109	Non-Friable	1	3	-	
East Side	Caulking	Brown	ASB32c	Sample Not Analyzed, See ASB01a and b	110	Non-Friable	1	3	1 or 2	
Post In Front of Visitor's Centre	Post Paint	Brown	PB08	<63 ppm	111	-	-	-	-	
Paint	Trim Paint	Brown	PB09	<82 ppm	112	-	-	-	-	

Appendix 3 Analytical Results: Asbestos and Lead


CERTIFICATE OF ANALYSIS

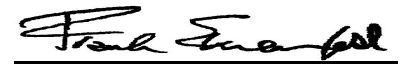
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028048 Client No.: ASB01a	Analyst Observation: Grey Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; South Side Of Attic Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected
Lab No.: 7028049 Client No.: ASB01b	Analyst Observation: Grey Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; North Side Of Attic Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected
Lab No.: 7028050 Client No.: ASB01c	Analyst Observation: Tan Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; Through Hatch Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected
Lab No.: 7028051 Client No.: ASB02a	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Under Stage Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028052 Client No.: ASB02b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Door South Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028053 Client No.: ASB02c	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Stage Stairs Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

Client: MER575

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028054 **Analyst Observation:** Lt Tan Fiberboard **Location:** Gym; Beneath ASB02a (Floor)
Client No.: ASB03a **Client Description:** Drywall White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected 20 Cellulose 80

Lab No.: 7028055 **Analyst Observation:** Lt Tan Fiberboard **Location:** Gym
Client No.: ASB03b **Client Description:** Drywall White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected 20 Cellulose 80


Lab No.: 7028056 **Analyst Observation:** Lt Tan Fiberboard **Location:** Gym
Client No.: ASB03c **Client Description:** Drywall White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected 15 Cellulose 85

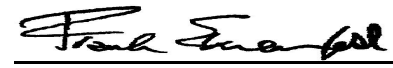
Lab No.: 7028057 **Analyst Observation:** White Mastic **Location:** Gym; North Wall East Door
Client No.: ASB04a **Client Description:** Baseboard Mastic White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected None Detected 100

Lab No.: 7028058 **Analyst Observation:** Lt Tan Mastic **Location:** Gym; North Wall South East
Client No.: ASB04b **Client Description:** Baseboard Mastic White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected None Detected 100

Lab No.: 7028059 **Analyst Observation:** Lt Tan Mastic **Location:** Gym; North Wall South West
Client No.: ASB04c **Client Description:** Baseboard Mastic White **Facility:**
Percent Asbestos: Percent Non-Asbestos Fibrous Material: Percent Non-Fibrous Material:
None Detected None Detected 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

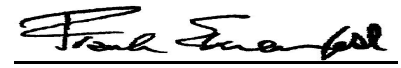
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028060 Client No.: ASB05a	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Gym; Ceiling Above Stage Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028061 Client No.: ASB05b	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Kitchen; East side Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028062 Client No.: ASB05c	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Service Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028063 Client No.: ASB05d	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028064 Client No.: ASB05e	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028065 Client No.: ASB05f	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: WW In Room B9 Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

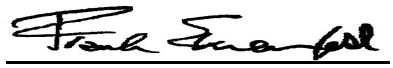
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028066 Client No.: ASB06a	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow	Location: Gym; Below ASB02b Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028067 Client No.: ASB06b	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow	Location: Gym; Below ASB02a Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 3 Cellulose	<u>Percent Non-Fibrous Material:</u> 97
Lab No.: 7028068 Client No.: ASB06c	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow	Location: Gym; Below ASB02b Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028069 Client No.: ASB07a	Analyst Observation: Tan Mastic Client Description: Construction Mastic	Location: Hallway; Behind North W. Baseboard Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028070 Client No.: ASB07b	Analyst Observation: Tan Mastic Client Description: Construction Mastic	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028071 Client No.: ASB07c	Analyst Observation: Tan Mastic Client Description: Construction Mastic	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028072 Client No.: ASB08a	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Hallway; North Wall Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028073 Client No.: ASB08b	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Ext; North Wall Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028074 Client No.: ASB08c	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Ext; West Wall Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

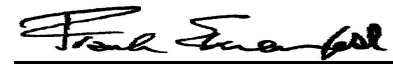
Lab No.: 7028075 Client No.: ASB09a	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Hallway; Ceiling Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50

Lab No.: 7028076 Client No.: ASB09b	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Seniors; Ceiling Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 55

Lab No.: 7028077 Client No.: ASB09c	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Wash; Women's Wash Ceiling Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50

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Date Received: 6/30/2020
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Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028078 Client No.: ASB10a	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Hallway; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028079 Client No.: ASB10b	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Closet; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028080 Client No.: ASB10c	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Gym; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

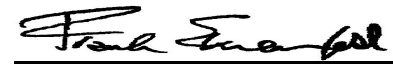
Lab No.: 7028081 Client No.: ASB11a	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hallway; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028081(L2) Client No.: ASB11a	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hallway; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028082 Client No.: ASB11b	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
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Signature: 
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Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

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Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028082(L2) Client No.: ASB11b	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028083 Client No.: ASB11c	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028083(L2) Client No.: ASB11c	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028084 Client No.: ASB12a	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Hallway; Floor Below ASB11a Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028085 Client No.: ASB12b	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Hot Water Tank; Floor below ASB13b Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028086 Client No.: ASB12c	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Maint Room; Floor Below ASB14a Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

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Date Received: 6/30/2020
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Signature:
Analyst: Ellen Smith

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director


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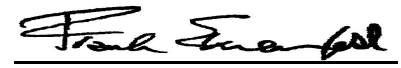
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028087 Client No.: ASB14a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Maint Room; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028087(L2) Client No.: ASB14a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Maint Room; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028088 Client No.: ASB14b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028088(L2) Client No.: ASB14b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028089 Client No.: ASB14c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028089(L2) Client No.: ASB14c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99

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Laboratory Director


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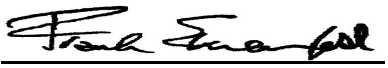
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028090 Client No.: ASB15a	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Hallway; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 20 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 45
Lab No.: 7028091 Client No.: ASB15b	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Library; Ceiling Center Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028092 Client No.: ASB15c	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Gym; Painted Boards Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Cellulose 20 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028093 Client No.: ASB16a	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028093(L2) Client No.: ASB16a	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Brown	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028094 Client No.: ASB16b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown	Location: Visitors Centre; Floor To Kitchen Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Laboratory Director


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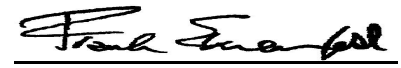
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028095 Client No.: ASB16c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Visitors Centre; Floor To Kitchen Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028095(L2) Client No.: ASB16c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Brown <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Visitors Centre; Floor To Kitchen Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028096 Client No.: ASB17a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Senice; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028097 Client No.: ASB17b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Library; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028098 Client No.: ASB17c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Offices; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
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Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028099 Client No.: ASB18a	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Storage; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028100 Client No.: ASB18b	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028101 Client No.: ASB18c	Analyst Observation: Grey Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Wash; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028101(L2) Client No.: ASB18c	Analyst Observation: Black/White Mastic/Leveling Compound Client Description: Vinyl Tile 12"X12" Grey	Location: Wash; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028102 Client No.: ASB19a	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; Ceiling Inside of Lobby Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028103 Client No.: ASB19b	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; North Glass Entrance Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028104 Client No.: ASB19c	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; South Side Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028105 Client No.: ASB20a	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: Attic; Duct Work Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028106 Client No.: ASB20b	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: Janitor; Duct Work To The West Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028107 Client No.: ASB20c	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: hatch; Around Duct Work Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028108 Client No.: ASB21a	Analyst Observation: Yellow Mastic Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028108(L2) Client No.: ASB21a	Analyst Observation: Red Floor Tile Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

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Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028108(L3) Client No.: ASB21a	Analyst Observation: Yellow Mastic Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028109 Client No.: ASB21b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile White	Location: Offices; Northwest Facility:
<u>Percent Asbestos:</u> <i>PC 4.0 Chrysotile</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 96
Lab No.: 7028110 Client No.: ASB21c	Analyst Observation: Sample Not Analyzed Client Description: Vinyl Tile White	Location: Offices; Northwest Facility:
<u>Percent Asbestos:</u> <i>Sample Not Analyzed</i>	<u>Percent Non-Asbestos Fibrous Material:</u> Sample Not Analyzed	<u>Percent Non-Fibrous Material:</u>
Lab No.: 7028111 Client No.: ASB22a	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028112 Client No.: ASB22b	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028113 Client No.: ASB22c	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028114 Client No.: ASB23a	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Cellulose	<u>Percent Non-Fibrous Material:</u> 75

Lab No.: 7028115 Client No.: ASB23b	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 20 Cellulose	<u>Percent Non-Fibrous Material:</u> 80


Lab No.: 7028116 Client No.: ASB23c	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Cellulose	<u>Percent Non-Fibrous Material:</u> 75

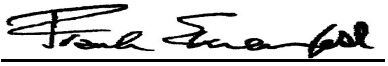
Lab No.: 7028117 Client No.: ASB24a	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

Lab No.: 7028118 Client No.: ASB24b	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

Lab No.: 7028119 Client No.: ASB24c	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

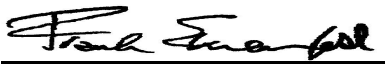
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028120 Client No.: ASB25a	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028121 Client No.: ASB25b	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028122 Client No.: ASB25c	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028123 Client No.: ASB26a	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028123(L2) Client No.: ASB26a	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028123(L3) Client No.: ASB26a	Analyst Observation: White Drywall Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 8 Cellulose	<u>Percent Non-Fibrous Material:</u> 92

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028124 Client No.: ASB26b	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028124(L2) Client No.: ASB26b	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028124(L3) Client No.: ASB26b	Analyst Observation: White Drywall Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 8 Cellulose	<u>Percent Non-Fibrous Material:</u> 92
Lab No.: 7028125 Client No.: ASB26c	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028125(L2) Client No.: ASB26c	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028126 Client No.: ASB27a	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 10 Cellulose	<u>Percent Non-Fibrous Material:</u> 90

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028127 Client No.: ASB27b	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 9 Cellulose	<u>Percent Non-Fibrous Material:</u> 91
Lab No.: 7028128 Client No.: ASB27c	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 7 Cellulose	<u>Percent Non-Fibrous Material:</u> 93
Lab No.: 7028129 Client No.: ASB28a	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Multi Use Bathroom Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028129(L2) Client No.: ASB28a	Analyst Observation: White Joint Compound Client Description: Caulking White	Location: Washrooms; Multi Use Bathroom Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028130 Client No.: ASB28b	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Men's Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028131 Client No.: ASB28c	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Women's Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028132 Client No.: ASB29a	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028133 Client No.: ASB29b	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028134 Client No.: ASB29c	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028135 Client No.: ASB30a	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 70
Lab No.: 7028135(L2) Client No.: ASB30a	Analyst Observation: Black Tar Client Description: Shingles	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028136 Client No.: ASB30b	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 75

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

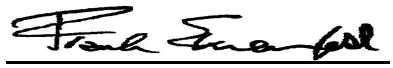
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028137 Client No.: ASB30c	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 70
Lab No.: 7028138 Client No.: ASB31a	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028138(L2) Client No.: ASB31a	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> 6 Cellulose	<u>Percent Non-Fibrous Material:</u> 94
Lab No.: 7028139 Client No.: ASB31b	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028139(L2) Client No.: ASB31b	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028140 Client No.: ASB31c	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> None Detected	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028140(L2) Client No.: ASB31c	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028141 Client No.: ASB32a	Analyst Observation: Grey Caulk Client Description: Caulking Brown	Location: Ext; North Side Facility:
<u>Percent Asbestos:</u> PC 0.5 Chrysotile	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 99.5

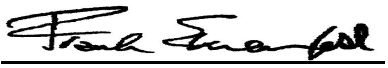
Lab No.: 7028142 Client No.: ASB32b	Analyst Observation: Grey Caulk Client Description: Caulking Brown	Location: Ext; East Side Facility:
<u>Percent Asbestos:</u> PC 1.0 Chrysotile	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028142(L2) Client No.: ASB32b	Analyst Observation: Blue Foam Client Description: Caulking Brown	Location: Ext; East Side Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028143 Client No.: ASB32c	Analyst Observation: Sample Not Analyzed Client Description: Caulking Brown	Location: Ext Facility:
<u>Percent Asbestos:</u> <i>Sample Not Analyzed</i>	<u>Percent Non-Asbestos Fibrous Material:</u> Sample Not Analyzed	<u>Percent Non-Fibrous Material:</u>

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

Appendix to Analytical Report

Customer Contact: Sonya Clelland

Method: 40 CFR Appendix E to Subpart E of Part 763, interim method for the Determination of Asbestos in Bulk Insulation Samples, and USEPA 600, R93-116 as needed.

This appendix seeks to promote greater understanding of any observations, exceptions, special instructions, or circumstances that the laboratory needs to communicate to the client concerning the above samples. The information below is used to help promote your ability to make the most informed decisions for you and your customers. Please note the following points of contact for any questions you may have.

iATL Customer Service: customerservice@iatl.com

iATL Office Manager: wchampion@iatl.com

iATL Account Representative: Kelly Klippel

Sample Login Notes: See Batch Sheet Attached

Sample Matrix: Bulk Building Materials

Exceptions Noted: See Following Pages

General Terms, Warrants, Limits, Qualifiers:

General information about iATL capabilities and client/laboratory relationships and responsibilities are spelled out in iATL policies that are listed at www.iATL.com and in our Quality Assurance Manual per ISO 17025 standard requirements. The information therein is a representation of iATL definitions and policies for turnaround times, sample submittal, collection media, blank definitions, quantification issues and limit of detection, analytical methods and procedures, sub-contracting policies, results reporting options, fees, terms, and discounts, confidentiality, sample archival and disposal, and data interpretation.

iATL warrants the test results to be of a precision normal for the type and methodology employed for each sample submitted. iATL disclaims any other warrants, expressed or implied, including warranty of fitness for a particular purpose and warranty of merchantability. iATL accepts no legal responsibility for the purpose for which the client uses test results. Any analytical work performed must be governed by our Standard Terms and Conditions. Prices, methods and detection limits may be changed without notification. Please contact your Customer Service Representative for the most current information.

This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAP, AIHA LAP LLC, or any agency of local, state or province governments nor of any agency of the U.S. government.

This report shall not be reproduced except in full, without written approval of the laboratory.

Information Pertinent to this Report:

Analysis by US EPA 600 93-116: Determination of Asbestos in Bulk Building Materials by Polarized Light Microscopy (PLM).

Certifications:

- NIST-NVLAP No. 101165-0
- NYSDOH-ELAP No. 11021
- AIHA-LAP, LLC No. 100188

Quantification at <0.25% by volume is possible with this method. (PC) Indicates Stratified Point Count Method performed. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. PC Trace represents a <0.25% amount. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed (ex. analyze until positive instructions). Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, PLM is not consistently reliable in detecting asbestos in non-friable organically bound (NOB) materials. Quantitative transmission electron microscopy (TEM) is currently the only method that can pronounce materials as non-asbestos containing.

Analytical Methodology Alternatives: Your initial request for analysis may not have accounted for recent advances in regulatory requirements or advances in technology that are routinely used in similar situations for other qualified projects. You may have the option to explore additional analysis for further information. Below are a few options, listed as the matrix followed by the appropriate methodology. Also included are links to more information on our website.

Bulk Building Materials that are Non-Friable Organically Bound (NOB) by Gravimetric Reduction techniques employing PLM and TEM: ELAP 198.6 (PLM-NOB), ELAP 198.4 (TEM-NOB)

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

Loose Fill Vermiculite Insulation, Attic Insulation, Zonolite (copyright), etc.: US EPA 600 R-4/004 (multi-tiered analytical process)
Sprayed On Insulation/Fireproofing with Vermiculite (SOF-V): ELAP 198.8 (PLM-SOF-V)

Soil, sludge, sediment, aggregate, and like materials analyzed for asbestos or other elongated mineral particles (ex. erionite, etc.): ASTM D7521, CARB 435, and other options available

Asbestos in Surface Dust according to one of ASTM's Methods (very dependent on sampling collection technique – by TEM): ASTM D 5755, D5756, or D6480

Various other asbestos matrices (air, water, etc.) and analytical methods are available.

Disclaimers / Qualifiers:

There may be some samples in this project that have a "NOTE:" associated with a sample result. We use added disclaimers or qualifiers to inform the client about something that requires further explanation. Here is a list with highlighted disclaimers that may be pertinent to this project. For a full explanation of these and other disclaimers, please inquire at customerservice@iatl.com.

- 1) Note: No mastic provided for analysis.
- 2) Note: Insufficient mastic provided for analysis.
- 3) Note: Insufficient material provided for analysis.
- 4) Note: Insufficient sample provided for QC reanalysis.
- 5) Note: Different material than indicated on Sample Log / Description.
- 6) Note: Sample not submitted.
- 7) Note: Attached to asbestos containing material.
- 8) Note: Received wet.
- 9) Note: Possible surface contamination.
- 10) Note: Not building material. 1% threshold may not apply.
- 11) Note: Recommend TEM-NOB analysis as per EPA recommendations.
- 12) Note: Asbestos detected but not quantifiable.
- 13) Note: Multiple identical samples submitted, only one analyzed.
- 14) Note: Analyzed by EPA 600/R-93/116. Point Counting detection limit at 0.080%.
- 15) Note: Analyzed by EPA 600/R-93/116. Point Counting detection limit at 0.125%.
- 16) Note: This sample contains >10% vermiculite mineral. See Appendix for Recommendations for Vermiculite Analysis.

Recommendations for Vermiculite Analysis:

Several analytical protocols exist for the analysis of asbestos in vermiculite. These analytical approaches vary depending upon the nature of the vermiculite mineral being tested (e.g. un-processed gänge, homogeneous exfoliated books of mica, or mixed mineral composites). Please contact your client representative for pricing and turnaround time options available.

iATL recommends initial testing using the EPA 600/R-93/116 method. This method is specifically designed for the analysis of asbestos in bulk building materials. It provides an acceptable starting point for primary screening of vermiculite for possible asbestos.

Results from this testing may be inconclusive. EPA suggests proceeding to a multi-tiered analysis involving wet separation techniques in conjunction with PLM and TEM gravimetric analysis (EPA 600/R-04/004).

For New York State customers, NYSDOH requires disclaimers and qualifiers for various vermiculite containing samples that direct analysis via ELAP198.6 and ELAP198.8 for samples that contain >10% vermiculite mineral where ELAP198.6 may be used to evaluate the asbestos content of the material. However, any test result using ELAP198.6 will be reported with the following disclaimer: "ELAP198.6 method does not remove vermiculite and may underestimate the level of asbestos present in a sample containing >10% vermiculite."

Further information on this method and other vermiculite and asbestos issues can be found at the following: Agency for Toxic Substances and Disease Registry (ATSDR) www.atsdr.cdc.gov, United States Geological Survey (USGS) www.minerals.usgs.gov/minerals/, US EPA www.epa.gov/asbestos. The USEPA also has an informative brochure "Current Best Practices for Vermiculite Attic Insulation" EPA 747F03001 May 2003, that may assist the health and remediation professional. NYS customers please follow current NYSDOH ELAP requirements per policy on subject of surfacing and vermiculite, May 6, 2016, Testing Requirements for Surfacing Material Containing Vermiculite (https://www.wadsworth.org/sites/default/files/WebDoc/I198_8_02_2.pdf)

The following is a summary of the analytical process outlines in the EPA 600/R-04/004 Method:

- 1) **Analytical Step/Method:** Initial Screening by PLM, EPA 600R-93/116
Requirements/Comments: Minimum of 0.1 g of sample. ~0.25% for most samples.

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

2)**Analytical Step/Method:** Wet Separation by PLM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Sinks" only.

3)**Analytical Step/Method:** Wet Separation by PLM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Floats" only.

4)**Analytical Step/Method:** Wet Separation by TEM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Sinks" only.

5)**Analytical Step/Method:** Wet Separation by TEM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Suspension" only.
*With advance notice and confirmation by the laboratory.

**Approximately 1 Liter of sample in double-bagged container (~9x6 inch bag of sample).

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

LEAD PAINT SAMPLE ANALYSIS SUMMARY

Lab No.: 7027927 **Description:** Grey **Result (% by Weight):** <0.0077
Client No.: PB01 **Location:** Gym Stage South **Result (ppm):** <77
Comments:

Lab No.: 7027928 **Description:** White **Result (% by Weight):** <0.0066
Client No.: PB02 **Location:** Gym Ceiling **Result (ppm):** <66
Comments:

Lab No.: 7027929 **Description:** Yellow **Result (% by Weight):** <0.0071
Client No.: PB03 **Location:** Hot H2O Tank South Wall **Result (ppm):** <71
Comments: ***

Lab No.: 7027930 **Description:** Beige **Result (% by Weight):** <0.0078
Client No.: PB04 **Location:** Kitchen East Wall **Result (ppm):** <78
Comments: ***

Lab No.: 7027931 **Description:** Pale Green **Result (% by Weight):** <0.0066
Client No.: PB05 **Location:** East Wall **Result (ppm):** <66
Comments:

Lab No.: 7027932 **Description:** Grey **Result (% by Weight):** 0.28
Client No.: PB06 **Location:** Closet Floor **Result (ppm):** 2800
Comments:

Lab No.: 7027933 **Description:** Dark Beige **Result (% by Weight):** <0.0042
Client No.: PB07 **Location:** Wash Door Frame **Result (ppm):** <42
Comments:

Lab No.: 7027934 **Description:** Brown **Result (% by Weight):** <0.0063
Client No.: PB08 **Location:** Ext Post **Result (ppm):** <63
Comments: ***

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/08/2020
Signature:
Analyst: Chad Shaffer

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

Client: MER575

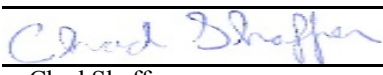
LEAD PAINT SAMPLE ANALYSIS SUMMARY


Lab No.: 7027935
Client No.: PB09

Description: Brown
Location: Ext Trim

Result (% by Weight): <0.0082
Result (ppm): <82
Comments: ***

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/08/2020
Signature: 
Analyst: Chad Shaffer

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

Appendix to Analytical Report:

Customer Contact: Sonya Clelland

Method: ASTM D3335-85a, US EPA SW846 3050B:7000B

This appendix seeks to promote greater understanding of any observations, exceptions, special instructions, or circumstances that the laboratory needs to communicate to the client concerning the above samples. The information below is used to help promote your ability to make the most informed decisions for you and your customers. Please note the following points of contact for any questions you may have.

iATL Customer Service: customerservice@iatl.com

iATL Office Manager: wchampion@iatl.com

iATL Account Representative: Kelly Klippel

Sample Login Notes: See Batch Sheet Attached

Sample Matrix: Paint

Exceptions Noted: See Following Pages

General Terms, Warrants, Limits, Qualifiers:

General information about iATL capabilities and client/laboratory relationships and responsibilities are spelled out in iATL policies that are listed at www.iATL.com and in our Quality Assurance Manual per ISO 17025 standard requirements. The information therein is a representation of iATL definitions and policies for turnaround times, sample submittal, collection media, blank definitions, quantification issues and limit of detection, analytical methods and procedures, sub-contracting policies, results reporting options, fees, terms, and discounts, confidentiality, sample archival and disposal, and data interpretation.

iATL warrants the test results to be of a precision normal for the type and methodology employed for each sample submitted. iATL disclaims any other warrants, expressed or implied, including warranty of fitness for a particular purpose and warranty of merchantability. iATL accepts no legal responsibility for the purpose for which the client uses test results. Any analytical work performed must be governed by our Standard Terms and Conditions. Prices, methods and detection limits may be changed without notification. Please contact your Customer Service Representative for the most current information.

This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAP, AIHA LAP LLC, or any agency of local, state or province governments nor of any agency of the U.S. government.

This report shall not be reproduced except in full, without written approval of the laboratory.

Information Pertinent to this Report:

Analysis by ASTM D3335-85a by AAS

Certification:

- National Lead Laboratory Program (NLLAP): AIHA-LAP, LLC No. 100188

- NYSDOH-ELAP No. 11021

This report meets the standards set forth in the EPA's National Lead Laboratory Accreditation Program (NLLAP) through the Laboratory Quality System Requirements (LQSR) Revision 3.0 November 5, 2007. All Environmental Lead Proficiency Analytical Testing (ELPAT) is through the AIHA-PAT established program.

Regulatory limit is 0.5% lead by weight (EPA/HUD guidelines). Recommend multiple sampling for all samples less than regulatory limit for confirmation. All results are based on the samples as received at the lab. iATL assumes that appropriate sampling methods have been used and that the data upon which these results are based have been accurately supplied by the client.

Method Detection Limit (MDL) per EPA Method 40CFR Part 136 Appendix B.

Reporting Limit (RL) based upon Lowest Standard Determined (LSD) in accordance with AIHA-ELLAP policies.

LSD=0.2 ppm MDL=0.005% by weight. RL= 0.010% by weight (based upon 100 mg sampled).

Disclaimers / Qualifiers:

There may be some samples in this project that have a "NOTE:" associated with a sample result. We use added disclaimers or qualifiers to inform the client about something that requires further explanation. Here is a complete list with highlighted disclaimers pertinent to this project. For a full explanation of these and other disclaimers, please inquire at customerservice@iatl.com.

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

- * Insufficient sample provided to perform QC reanalysis (<200 mg)
- ** Not enough sample provided to analyze (<50 mg)
- *** Matrix / substrate interference possible.

< less than sign, signifies none-detected below the empirical value based upon sub-sampled mass. This is often below the Reporting Limit (see above).



Attention:



Brenda Fraser
Town of Kearney
Clerk Administrator
8 Main Street, P.O. Box 38
Kearney, ON
P0A 1M0

Town of Kearney

Building Condition Assessment

FINAL REPORT

LEA Project Number:

19050

Location:

Municipal Office
8 Main Street
Kearney, ON
P0A 1M0

Date Submitted:

July 31, 2020

Prepared By:



Larocque Elder Architects, Architectes Inc.
188 5th Avenue East
North Bay, ON
P1B 1N6

Table of Contents

1.0	Consultant Team	p.3
2.0	Introduction	p.5
3.0	Facility Description	p.8
3.1	Facility Key Plan	
4.0	Architectural Building Condition Assessment Chart	p.13
5.0	Architectural Building Condition Assessment Photographs	p.20
	Prepared by Larocque Elder Architects	
5.1	Site Photographs	
5.2	Roof Photographs	
5.3	Exterior Building Photographs	
5.4	Interior Building Photographs	
6.0	Architectural Report Disclaimer	p.58
7.0	Architectural Executive Summary	p.60
8.0	Structural Building Condition Assessment Report	p.62
	Prepared by A2S Consulting Engineers	
9.0	Mechanical and Electrical Building Condition Assessment Report	p.88
	Prepared by JAIN Consulting	
	Appendix A - Designated Substances Survey	p.107
	Prepared by Englobe Corp.	
	Appendix B - Original 1953 Kearney Public School Drawings	p.194
	Appendix C - Original 1989 Kearney Municipal Office Drawings	p.199
	Appendix D - Original 1989 Proposed Sewage System Documents	p.203

CONSULTANT TEAM

Consultant Team

Prime Consultant / Architects

LAROCQUE ELDER ARCHITECTS, ARCHITECTES INC.
188 Fifth Avenue East,
North Bay ON P1B 1N6

Contact: Jean Larocque, Architect

E-mail: jlarocque@leaainc.com
Phone: (705) 497-9191 ext. 222
Fax: (705) 497-9497

Structural Consultant

A2S CONSULTING ENGINEERS
289 Cedar Street, Unit 201
Sudbury, ON P3B 1M8

Contact: Steve Cairns

E-mail: steve@a2s.ca
Phone: (705) 222-0420 ext. 100

Mechanical Consultant

JAIN CONSULTANTS
7405 E Danbro Crescent,
Mississauga ON L5N 6P8

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E-mail: djain@jainconsultants.com
Phone: (905) 285-9900 ext. 222
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Electrical Consultant

JAIN CONSULTANTS
7405 E Danbro Crescent,
Mississauga ON L5N 6P8

Contact: Raed Hindi

E-mail: rhindi@jainconsultants.com
Phone: (905) 285-9900 ext. 236
Fax: (905) 567-5246

Related Consultants Retained by Client

Environmental Consultant

ENGLOBE
120 Progress Ct,
North Bay ON P1B 8G4

Contact: Jake Berghamer

E-mail: jake.berghamer@englobecorp.com
Phone: (705) 476-2550 ext. 175224

INTRODUCTION

Introduction

Project Description

The Town of Kearney retained Larocque Elder Architects, Architectes Inc., A2S Consulting Engineers, and JAIN Consultants to perform a Building Condition Assessment (BCA) for the Town of Kearney Municipal Building located at 8 Main Street, Kearney, Ontario.

Larocque Elder Architects, Architectes Inc., conducted an on-site assessment of components related to the site, exterior built structures, and exterior building envelope, and interior building finishes for the Municipal Building on Thursday June 25th, 2020. A2S Consulting Engineers conducted an on-site assessment of the structural systems and components and JAIN Consultants conducted an on-site assessment of the mechanical and Electrical systems and components for the Municipal Building on the same day while LEA was present (Thursday June 25th, 2020). All assessments were based on non-destructive visual observation of components.

Purpose

The purpose of the BCA is intended to achieve the following:

1. Assist the Owner to understand the current physical condition and life expectancy of its building portfolio in order to properly plan for future capital funding requirements, capital investments, upkeep and maintenance costs in the next 20 years.
2. To document a non-destructive assessment, provide recommendations and related cost estimates based on current conditions of: i) the site, ii) architectural components of the exterior structures, iii) architectural components of the exterior building envelope and the interior finishes, iv) mechanical/ electrical systems and components of the building.

BCA and Costing Chart Structure

The BCA/Costing Chart is structured as follows:

1. Sections: The components are grouped under the following categories:
 - 1.0 Site Work
 - 2.0 Structure - Out Buildings including the exterior storage containers, the exterior stair, ramp and attached exterior overhang.
 - 3.0 Municipal Building Exterior per user group
 - 4.0 Municipal Building Interior per user group
2. Building Component: identification of specific building and site components.
3. Photo. No.: numbered photo inventory of building components.
4. Location: site or building location where specific components are present.
5. Observations: on-site observations based on a non- destructive visual observation.
6. Recommendations: identifies immediate recommended action items and recommendations to be implemented within 0 to 20 years.
7. Approximate Year Constructed or Replaced: The year listed represents the year of the "Issued for Tender" date identified on the available tender documents provided by the Client. Dates associated with any construction and/or renovation work which proceeded with or without tender documents and/or purchase orders not provided by the Client are excluded from this study. A Facility Key Plan identifying the dates is attached for reference.

8. Standard Useful Life (years): the years represented are based on industry standards for administrative buildings. It should be noted that Useful Life of different materials varies according to usage / abuse, building orientation and of course material quality and craftsmanship.
9. Condition: This category identifies the rating system based on the following three (3) conditions when evaluating the components:
 - Poor: Observable deterioration and/or a hazardous condition which cannot be deferred and which is identified as a potential risk to health and safety requiring capital repair.
 - Fair: Deteriorating condition likely to become “poor” within a few years if not addressed.
 - Good: Reasonable condition and does not require any capital expenditure at present date.
 - It should be noted that in some cases the same component in the same phase of the building had various ratings based on different conditions depending on location, building orientation etc. and therefore identified as such.
 - It should also be noted that some observations noted in the BCA require additional investigation so as to further understand their present Code compliance and the related extent of work.
10. Recommended Replacement: Recommended replacement was categorized into the following time frames based on the prescribed rating system:
 - Immediate,
 - 0 to 5 years,
 - 5 to 10 years,
 - 10 to 20 years

FACILITY DESCRIPTION

Facility Description

Site

The site is comprised of a paved asphalt parking area located along the south, east and north-east of the property which is primarily entered from Main Street and has a secondary entrance/exit from Esther Street. A gravel lane way, used by snowmobiles during the winter also connects the parking area to main street at the east. This lane way is located between the east extent of the property and the existing septic field bed which serves the Municipal Building. Three (3) exterior storage containers are located near the north-west side of the Community Hall and accessed via a gravel lane way which connects to the main asphalt parking area. Sodded areas maintained by the municipality are located near the south, south-west and west portion of the site along Hwy 518 and Main Street; sod is also maintained over the existing septic field bed located near the east portion of the property .

The site topography varies, sloping from the north-east end of the property to the south-west end of the property. Generally the grades slope away from the building. Immediately beyond the north-east, north and north-west boundary of the parking area the grade slopes drastically into an undeveloped forested area.

The main entrance to the Municipal Building is delineated by interlocking paved sidewalk which is at the same elevation as the main parking area. The main entrance door is barrier-free accessible with a cast-in place concrete ramp which transitions the interlocking paver sidewalk to the main floor elevation. The barrier-free exit door serving the Senior's Club has a cast-in-place concrete ramp which slopes towards a marked pedestrian access/drop-off lane within the asphalt parking area. Concrete sidewalks near the south-west corner of the site provide access to the service window of the Municipal Office Boardroom / MNRF Lease Space for public use and the barrier-free exit door provides a secondary means of access to both the Municipal Office and Library.

The facility relies on its own on-site services for water and sewage treatment. A portion of the property accommodates a potable well and a septic system situated on south-east of the property. The septic system is comprised of A 3000 gal. holding tank and 800 gal. grease trap, located near the Main Entrance of the Building. The main holding tank has two (2) 25 gpm pumps which pump the effluents to a 3000 gal. septic tank. A distribution box is then connected to a leach bed constructed of 10 runs, 30 meter (100 ft.) in length. Records indicate that the septic system was constructed and approved under part 7 of the Environmental Protection Act in August 1989. Three (3) phase electrical power via Hydro One is connected by underground services to an adjacent overhead hydro line which follows Hwy 518. A natural gas service is not available, therefore gas fired Mechanical / Electrical and Kitchen Equipment are fed via two (2) 1000 gal. propane tanks located on-site, protected via three (3) cast in place concrete bollards, located west of the Municipal Building. Refer to the attached Mechanical and Electrical report for additional information related to on-site features and notes.

Exterior Structures

The exterior structures include a three (3) premanufactured storage containers located on the north-east side of the property and a wood framed canopy attached on the south-west side of the Municipal Building.

Municipal Building

The Municipal Building consists of a one (1) storey, combustible, wood framed building with a total Gross Floor Area (GFA) of 992 square meters (10,680 square feet). The first portion of the Municipal Building was constructed through an addition to the existing public school in 1953, this addition was not attached to the original school but did add approximately 340 sm (3,630 sf). The building operated as a school until it was converted in 1989 to the Municipal Building through a second major addition of approximately 634 sm (6,825 sf), complete with renovation work to the 1953 portion of the existing school building to relocate the Municipal Office and Library and to add the Community Hall and Senior's Club occupancies. The last major addition was completed in 2010 and included adding approximately 52 sm (560 sf) to both the Community Hall and Senior's Club. The Municipal Building is currently occupied by the three (3) major user groups as follows;

1. Municipal Office, Seasonal MNRF Parks Office, Public Library and Public Washroom occupancies within the original 1953 public school addition

Occupancy	Use	Gross Floor Area
Group D	Municipal Office (includes Public Washrooms)	191 sm (2,055 sf)
Group D	MNRF Tenant Space (7/12 months) / Municipal Office Boardroom (3/12 months)	33 sm (355 sf)
Group A2	Public Library	72 sm (765 sf)
Total Gross Floor Area		306 sm (3,295 sf)

2. The Community Hall complete with commercial kitchen and bar occupancy within the north-west portion of the 1989 addition and 2010 addition

Occupancy	Use	Gross Floor Area
Group A2	Community Hall complete with commercial kitchen and bar	555 sm (5,970 sf)
Group A2	Added Support Spaces as part of 2010 addition	9 sm (100 sf)
		Total Gross Floor Area 564 sm (6,070) sf

3. The Senior's Club / Council Chamber c/w an independent commercial kitchen and barrier free washroom which is located in the south portion of the 1989 addition.

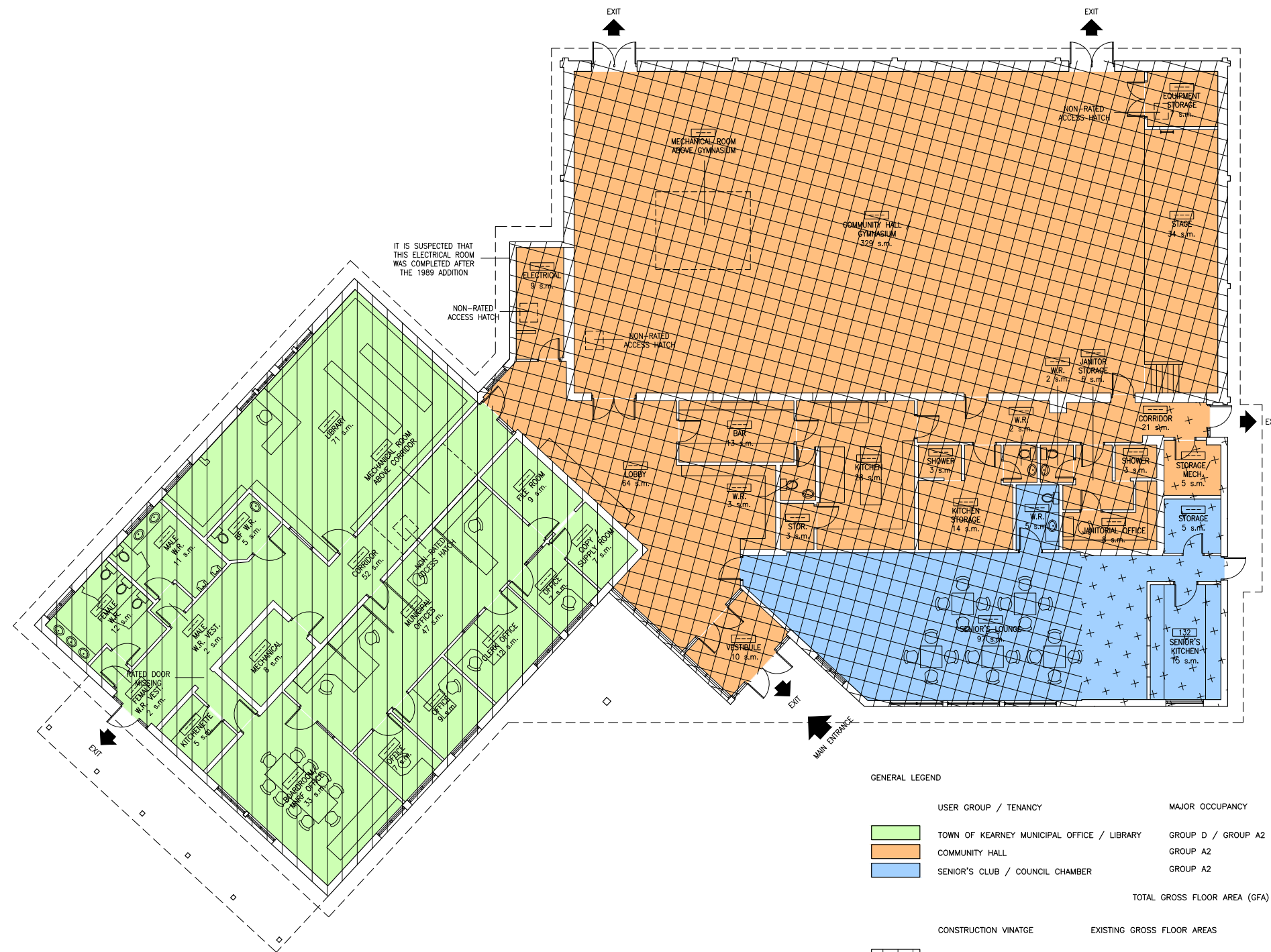
Occupancy	Use	Gross Floor Area
Group A2	Senior's Club / Council Chamber	79 sm (850 sf)
Group A2	Senior's Lounge extension and added kitchen as part of 2010 addition	43 sm (465 sf)
		Total Gross Floor Area 122 sm (1,315) sf

Each of these major user groups are connected via a central lobby built as part of the 1989 addition and was updated through the addition and renovation to the Community Hall and Senior's Club in 2010. For the purposes of the BCA, the lobby is considered part of the Community Hall. The lobby includes the full-height, glazed vestibule where the public main entrance is located and serves as a second means of exit for both the Senior's Club and Municipal Office and Library.

Connected via the lobby, the Electrical Room located to the south of the Gymnasium was part of the original 1989 construction drawings however, it is believed that this room was added at a later date due the presence of brick veneer along the wall which adjoins the Gymnasium. The presence of brick veneer in this location implies that this wall was exposed to the exterior of the building at some point. Further evidence of the Electrical Room was completed later includes a significant difference in structural construction. Refer to the attached structural report for further information.

The exterior building envelope primarily consists of brick veneer, aluminum clad/wood windows, aluminum curtain wall and sloping gable pre-engineered wood truss roof system covered with asphalt roof shingles. Some areas where lower roofs meet end walls, metal cladding and/or flashing was used.

The interiors of the Municipal Building are primarily suspended acoustic tile ceilings, painted gypsum wall board wood framed partitions, painted solid wood and hollow metal doors, painted pressed steel and wood frames, carpet (CPT) flooring, vinyl composite tile (VCT) flooring with rubber base boards, wood window casings, wood window stools, wood handrails, Melamine Composite Panel (MCP) and plastic laminate (PLAM) millwork cabinets with plastic laminate (PLAM) counters tops. The showers, Municipal Office Washrooms and entry vestibule have ceramic tile flooring. The only exposed structural elements are the glulam beams located in the Library. Refer to Structural Report for additional information regarding exposed glulam beams.



IT IS SUSPECTED THAT THIS ELECTRICAL ROOM WAS COMPLETED AFTER THE 1989 ADDITION

GENERAL LEGEND		EXISTING GROSS FLOOR AREAS
	USER GROUP / TENANCY	
	TOWN OF KEARNEY MUNICIPAL OFFICE / LIBRARY	GROUP D / GROUP A2 ± 306 s.m. (± 3,295 s.f.)
	COMMUNITY HALL	GROUP A2 ± 564 s.m. (± 6,070 s.f.)
	SENIOR'S CLUB / COUNCIL CHAMBER	GROUP A2 ± 122 s.m. (± 1,315 s.f.)
TOTAL GROSS FLOOR AREA (GFA) =		± 992 s.m. (± 10,680 s.f.)
CONSTRUCTION VINATGE		EXISTING GROSS FLOOR AREAS
	ORIGINAL 1953 BUILDING	± 306 s.m. (± 3,295 s.f.)
	1989 ADDITION	± 634 s.m. (± 6,820 s.f.)
	2010 ADDITION	± 52 s.m. (± 565 s.f.)
TOTAL GROSS FLOOR AREA (GFA) =		± 992 s.m. (± 10,680 s.f.)

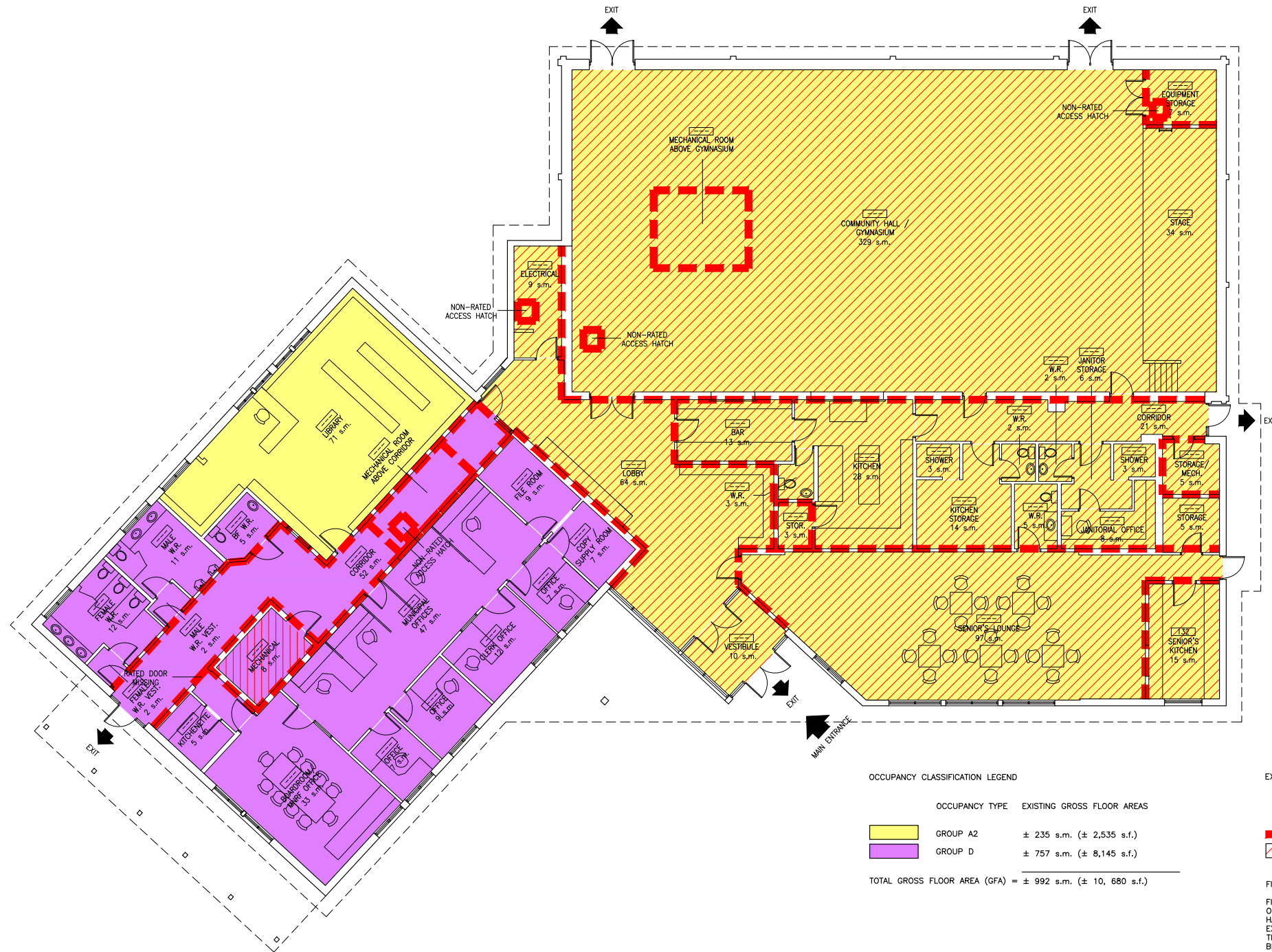
Town of Kearney Municipal Office Existing Main Floor Plan

Kearney, Ontario
June 30, 2020

19050

1 : 200

Larocque Elder Architects, Architectes Inc.



OCCUPANCY CLASSIFICATION LEGEND

OCCUPANCY TYPE	EXISTING GROSS FLOOR AREAS
GROUP A2	± 235 s.m. (± 2,535 s.f.)
GROUP D	± 757 s.m. (± 8,145 s.f.)
TOTAL GROSS FLOOR AREA (GFA) = ± 992 s.m. (± 10, 680 s.f.)	

EXISTING FIRE SEPARATION LEGEND

USER GROUP / TENANCY
EXISTING RATED WALL
EXISTING RATED CEILING MEMBRANE

FIRE SEPARATION DISCLAIMER

FIRE SEPARATIONS ARE BASED ON LIMITED VISUAL OBSERVATION OF EXISTING CONSTRUCTION AND HARDWARE ONLY. AS NOTED IN THE BCA, MOST EXISTING SEPARATIONS HAVE BEEN COMPROMISED THEREFORE, THIS FIRE SEPARATION PLAN SHOULD BE INTERPRETED AS INDICATING INTENDED FIRE SEPARATIONS ONLY. FIRE SEPARATION AND HARDWARE FIRE RESISTANCE RATINGS HAVE NOT BEEN IDENTIFIED. FURTHER INVESTIGATION SHOULD BE TAKEN THROUGH ON-SITE CONSULTANT REVIEW TO DETERMINE EXTENT AND RATING OF ALL EXISTING FIRE SEPARATIONS.

Town of Kearney Municipal Office Existing Main Floor Plan

Kearney, Ontario
June 30, 2020

19050

1 : 200

Larocque Elder Architects, Architectes Inc.

BUILDING CONDITION ASSESSMENT CHART

Building Condition Assessment / Costing Chart

							Condition			Recommended Replacement			
Building Component	Photo No.	Location	Observations	Standard Useful Life (years)	Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years		
1.0 SITE WORK													
1.1	General	SITE001, SITE002, SITE003, SITE005	Near Main Entrance and Exterior Service Window Sidewalk	Sand from winter maintenance present. Immediate removal is recommend to prevent tripping hazard. Overall site is relatively well maintained.		x		x					
1.2	Asphalt Parking Areas	SITE001, SITE002, SITE003, SITE004, SITE006, SITE021, SITE022	Adjacent to East and North of Municipal Building	Asphalt appears to be in fair condition with some potholes and signs of movement. Handicap parking stalls require repainting.		x			x				
1.3	Concrete Sidewalks	SITE005, SITE012	Near Exterior Service Window and Ramp leading to Senior's Club North Exit Door	Existing concrete sidewalks West of the Municipal Office are heavily damaged and appear to be unmaintained. Sidewalks near the Main Building Entrance appear to be in relatively good condition.		x			x				
1.4	Concrete Curbs	SITE006, SITE024, EX038	Adjacent to East and North of Municipal Building	Precast concrete curbs are heavily damaged, and require replacement or reseating.		x			x				
1.5	Gravel Walkways	SITE025, SITE026	Near North East perimeter of Site	Gravel access lane near the rear parking area East of the field bed requires regrading (signs of significant use due to snowmobile traffic)		x		x					
1.6	Interlocking Paver Areas	SITE002, EX046	Main Entrance / Vestibule	Interlocking pavers at Main Entrance are in fair condition (minimal removal and reinstallation in select locations only)		x				x			
1.7	Landscaping / Planting Beds	SITE001, EX005, EX042	East side of Municipal Offices and Senior's Club	Planting bed retaining walls require select repair and reinstallation		x				x			
1.8	Trees / Shrubs	SITE013	Within the limit of the property	Trees near South and West portion of the site require pruning, especially at locations where crowns/branches extend over the Municipal Building's roof		x		x					
1.9	Outdoor Furniture	SITE013, SITE004, EX001, EX006, ES001	Near Main Entrance and Exterior Service Window	Outdoor seating areas located under overhangs are in good condition. Picnic table seating near main entrance requires occupants to walk over existing sod and navigate around obstacles including exposed septic tank cover and existing planting bed retaining walls. Other picnic tables are stored against existing building near South West corner of the site - relocate away from building.		x				x			
1.10	Exterior Public Artwork	ES011	Attached to Exterior Storage Containers located near West portion of Site	Public Artwork including sculptures and painting near the West of the site appear to be heavily damaged.		x			x				
1.11	Exterior Signage	SITE008, SITE009, SITE017	South West portion of Site	Noted that rear access from Esther Street requires stop/yield sign (existing foliage blocks sight lines to oncoming traffic). Noted that several exterior signs appear to repeat information or improperly identify building/site elements and restrictions.		x			x				
1.12	Flagpole	SITE002	Near Main Entrance	Foundation, frame and hardware has minimal wear.		x				x			
1.13	Fencing	SITE007, SITE024, SITE025, SITE026	East portion of Site	North extent of parking area requires guard to mitigate fall hazard (site grade drops drastically into forested area). Existing chain-link fence which encloses septic field bed is in relatively fair condition.		x				x			
2.0 STRUCTURE - OUT BUILDINGS													
2.1	Exterior Storage	ES007, ES008, ES009, ES010, ES011, ES012, ES013	North-west portion of Site	Leveling blocks under existing storage sheds appear inadequate. Relocate on level granular base.		x			x				
2.2	Exterior Overhang	SITE008, ES001, ES002, ES003, ES004, ES005, ES006	Attached to South side of Municipal Office	Exterior overhang flashing and soffits are significantly damaged.		x			x				
2.3	Concrete Steps, Ramps and Steel Handrail	SITE011, SITE023, ES014	Handrail and Stairs are located near South West portion of Site. Exterior Ramp is located along North side of Senior's Club	West concrete stairs and handrail require maintenance or removal (stairs do not currently serve any entrance or exit)		x			x				
3.0 MAIN BUILDING EXTERIOR													
3.1 MUNICIPAL OFFICE AND LIBRARY EXTERIOR													
3.1.1	Shingled Roofing including: shingles, pre-finished metal ridge vent, pre-finished metal fascia board, and flashing.	SITE002, SITE008, SITE028, SITE029,	Complete Roof	Minor oil canning at stepped fascia in all areas. Roof ventilators were visually inspected from the ground only. Further investigation recommended to confirm adequate attic ventilation.		x				x			
3.1.3	Metal Soffit and Cladding	EX001, EX002, EX011, EX014, EX018	Full perimeter of Municipal Office	Soffit near Main Entrance shows evidence of water damage.		x			x				

Building Condition Assessment / Costing Chart

							Condition			Recommended Replacement			
							Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years
Building Component	Photo No.	Location	Observations	Standard Useful Life (years)									
3.1.4	Brick Cladding	EX001, EX002, EX003, EX004, EX010, EX011, EX012, EX013	Full perimeter of Municipal Office	Minor repairs and cleaning of mortar recommended in most areas. Brick veneer remains intact without major visible signs of cracks /spalling or evidence of significant efflorescence. Mortar repair and stainless steel splash guard should be installed near the public water filling station near the south of the Municipal Office.			x				x		
3.1.5	Windows including sills and closure panels	EX002, EX003, EX004, EX007, EX008, EX014	Located in Municipal Offices, Boardroom (Exterior Service Window), Washrooms, BF Washroom and Library	All Windows Insulated Glass Units (IGUs) have exceeded their life expectancy. Perimeter sealant is broken at most windows.		x				x			
3.1.7	Exterior Doors	EX009	Municipal Office South Exit Door	All Insulated Glass Units (IGUs) in doors and sidelights have exceeded their life expectancy. Perimeter sealant is broken at most windows. Severe corrosion at door transitions most likely due to the use of salt.		x				x			
3.1.8	Hardware	EX009	Municipal Office South Exit Door	Barrier Free Push Button is non-compliant with current AODA standards. Door and Window Hardware has exceeded its life expectancy.		x			x				
3.1.9	Door Thresholds	EX009	Municipal Office South Exit Door	Evidence of significant corrosion.		x				x			
3.1.10	Sealants	EX002, EX003, EX004, EX007, EX008, EX014	Located at windows and door frames, jamb and sill flashings and prefinished closure trims	Most perimeter sealants have cracked or have significant signs of deterioration.		x			x				
3.1.11	Architectural Vents and Louvers	EX012	South-west façade of Municipal Office	Male and Female Washroom vents are damaged and factory painted finish is visibly faded.		x				x			
3.1.12	Concrete Parging	EX012	West Exterior Wall	Parging is mostly obscured along perimeter of Municipal Office. Grading at the perimeter of most foundation walls is too high, causing discolouration of brick due to prolonged exposure to splashing / moisture. Extended exposure to moisture can potentially cause future damage and deterioration.		x			x				
3.2 COMMUNITY HALL EXTERIOR													
3.2.1	Shingled Roofing including: shingles, pre-finished metal ridge vent, pre-finished metal fascia board, and flashing.	SITE030, EX020, EX021, EX023, EX030, EX034	Complete Roof	Asphalt Shingles are in poor condition. Minor oil canning at stepped fascia in all areas. Roof ventilators were visually inspected from the ground only. Further investigation recommended to confirm adequate attic ventilation. Wall flashing transition between Gymnasium Roof and Senior Club Roof appears to be damaged and susceptible to water infiltration due to shingles curling.		x				x			
3.2.2	Soffits	EX030	Full perimeter of Community Hall	Soffit poorly installed near exterior of Electrical Room and North Exit		x				x			
3.2.3	Brick Cladding	EX022, EX023, EX024, EX025, EX028, EX029, EX030	Full perimeter of Community Hall	Brick Veneer appears to be cantilevered +/- 1" from the face of the foundation wall at the perimeter of the Gymnasium. Minor repairs and cleaning of mortar recommended. Brick veneer remains intact without spalling or evidence of significant efflorescence.		x					x		
3.2.4	Windows and Curtain Wall, including sills and closure panels	EX001, EX016, EX017, EX046, INT102	Located in Vestibule and Lobby	All Windows Insulated Glass Units (IGUs) have exceeded their life expectancy. Perimeter sealant is broken at most windows. Significant damage to corner closure panel at Main Entrance.		x				x			
3.2.6	Exterior Doors	EX024, EX025, EX026, EX027, EX033, EX035, EX036	Located in Vestibule, Lobby and Corridor	All Insulated Glass Units (IGUs) in doors and sidelights have exceeded their life expectancy. Perimeter sealant is broken at North Exit and Both Gymnasium Exit Doors. Severe corrosion at door transitions. Small asphalt ramps transitioning to grade were observed at both Gymnasium Exit Doors.		x				x			
3.2.6	Hardware	EX033, INT102	Located in Vestibule, Lobby and Corridor	Barrier Free Push Button is not present at North Exit Door. Door and Window Hardware has exceeded its life expectancy.		x			x				
3.2.7	Door Thresholds	EX035, INT102	Located in Vestibule, Lobby and Corridor	Evidence of significant corrosion.		x				x			
3.2.8	Sealants	EX029, EX035, EX036	Located at windows and door frames, jamb and sill flashings and prefinished closure trims	Most perimeter sealants have cracked or have significant signs of deterioration.		x				x			
3.2.9	Architectural Vents and Louvers	EX036	Located near Storage and Mechanical Room	Architectural Louver at West side of Gymnasium appears to be actuated by HVAC system. Visually the louver appears to be in fair condition. Small Architectural Louvers near North Exit appears to be fair condition and require cleaning. Perimeter Sealant appears to be maintained at louvers			x				x		
3.2.10	Concrete Parging	EX028, EX029, EX031, EX032	Full perimeter of Community Hall	Significant cracking observed near foundation wall near North West corner of Community Hall Gymnasium. Grading at the perimeter of most foundation walls is too high, causing discolouration of brick due to prolonged exposure to splashing / moisture. Extended exposure to moisture can potentially cause future damage and deterioration.		x			x				
3.3 SENIOR'S CLUB EXTERIOR													
3.3.1	Shingled Roofing including: shingles, pre-finished metal ridge vent, pre-finished metal fascia board, and flashing.	SITE001, SITE029, EX034, EX038, EX039, EX041, EX042, EX045	Complete Roof	Asphalt Shingles are in poor condition. Stepped fascia along East side of Senior's Club appears to be heavily damaged due to ice damming during the winter months. Roof ventilators were visually inspected from the ground only. Noted intermediate roof ventilators near Gymnasium Roof transition. Future investigation required as this may be problematic with respect to attic ventilation.		x				x			

Building Condition Assessment / Costing Chart

							Condition			Recommended Replacement			
Building Component		Photo No.	Location	Observations	Standard Useful Life (years)	Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years	
3.3.2	Soffits	EX039, EX042, EX045, EX046	Full perimeter of Senior's Club	Soffit clips for exterior decorative lighting were observed along East side of Senior's Club.			x				x		
3.3.3	Brick Cladding	EX040, EX045, EX047	Full perimeter of Senior's Club	Kitchen addition to Senior's Club is visible from transition to darker brick. Minor repairs and cleaning of mortar recommended. Brick veneer remains intact without spalling or evidence of significant efflorescence.			x				x		
3.3.4	Windows including sills and closure panels	EX042, EX043, EX044, EX045, EX046	Located at Senior's Lounge, and Senior's Kitchen	All Windows Insulated Glass Units (IGUs) have exceeded their life expectancy. Perimeter sealant is broken at most windows.		x				x			
3.3.6	Exterior Doors	EX039, EX040	Located at North Exit Door from Senior's Lounge	All Insulated Glass Units (IGUs) in doors and sidelights have exceeded their life expectancy. Perimeter sealant is broken at North Exit.		x				x			
3.3.7	Hardware	EX040	Located at North Exit Door from Senior's Lounge	Door and Window Hardware has exceeded its life expectancy.		x				x			
3.3.8	Door Thresholds	EX040	Located at North Exit Door from Senior's Lounge	Evidence of significant deterioration		x				x			
3.3.9	Sealants	EX043, EX044	Located at windows and door frames, jamb and sill flashings and prefinished closure trims	Most perimeter sealants have cracked or have significant signs of deterioration.		x			x				
3.3.10	Architectural Vents and Louvers	N/A	N/A	N/A									
3.3.11	Concrete Parging	EX038, EX039, EX046	Full perimeter of Senior's Club	Parging is mostly obscured along perimeter of Senior's Club. Parging at North side of building appears to be completely missing.		x			x				
4.0 MAIN BUILDING INTERIOR													
4.1 MUNICIPAL OFFICE AND LIBRARY INTERIOR													
4.1.1	ACTILE Ceilings	INT112, INT114, INT120, INT123, INT138, INT153, INT158, INT164, INT167	Corridor, Municipal Offices, MNRF Parks Office, Male Washroom, Female Washroom, BF Washroom, Library, File Room, Copy and Supply Room, Boardroom, Kitchenette	Significant yellowing and evidence of previous tile replacement in Corridor and Municipal Offices.		x				x			
4.1.2	GWB Ceilings / Bulkheads	INT117, INT135, INT142, INT144	Male Washroom Vestibule, Female Washroom Vestibule, Mechanical Room Above Corridor / Mechanical Room	Upper Mechanical Room in Attic Space has signs of squirrel nesting and damaged gypsum wall board.		x			x				
4.1.3	GWB Walls	INT113, INT120, INT125, INT132, INT163	All rooms, except half height in Washrooms and none in Mechanical Room	Generally in fair condition and appears to be well maintained.			x				x		
4.1.4	Paint Finish	INT113, INT120, INT125, INT132, INT163	All rooms, except half height in Washrooms and none in Mechanical Room	Generally in fair condition and appears to be well maintained.			x				x		
4.1.5	Vinyl Tile Flooring	INT125, INT128, INT131, INT132, INT134	Corridor, Kitchenette	Minor Abrasive Damage in Kitchenette.		x				x			
4.1.6	Ceramic Tile Flooring	INT136, INT137, INT131, INT143, INT144, INT145, INT146, INT148	Male Washroom, Female Washroom and BF Washroom	Noted component is part of recent renovation work and therefore is in good condition.				x				x	
4.1.7	Carpet Flooring	INT112, INT113, INT114, INT120, INT124, INT126, INT127, INT128, INT152, INT153, INT155, INT158, INT159, INT160, INT161, INT162, INT163, INT165	Corridor, Municipal Offices, File Room, Copy and Supply Room, Boardroom	Visible staining and damage in both Boardroom and Municipal Office. Fair condition in Library.		x				x			
4.1.8	Concrete Flooring	INT150	Electrical and Mechanical Room	Visible damage and staining of existing Electrical and Mechanical Room flooring. Floor paint is visibly flaking from concrete slab.		x			x				
4.1.9	RB / Carpet Base	INT114, INT120, INT125, INT128, INT151, INT156, INT163	Corridor, Municipal Offices, File Room, Copy and Supply Room, Boardroom	Requires reinstallation in Municipal Office Area. See Carpet Flooring condition for replacement of Carpet Base		x				x			
4.1.10	Wood Base	N/A	N/A	N/A									
4.1.11	Interior Wood / Metal Doors	INT112, INT114, INT131, INT135, INT136, INT142, INT151, INT160, INT162, INT163, INT165	All rooms	Washroom doors appear to be residential grade and do not match remaining portion of Municipal Office Area			x			x			
4.1.12	Pressed Steel Door Frames	INT112	All rooms	Generally in fair condition and appears to be well maintained			x				x		

Building Condition Assessment / Costing Chart

							Condition			Recommended Replacement			
Building Component		Photo No.	Location	Observations	Standard Useful Life (years)	Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years	
4.1.13	Paint Finish	INT112, INT113, INT114, INT120, INT124, INT126, INT127, INT128, INT152, INT153, INT155, INT158, INT159, INT160, INT161, INT162, INT163, INT165	All rooms, except half height in Washrooms	Generally in fair condition and appears to be well maintained			x				x		
4.1.14	Door Hardware	INT112, INT114, INT131, INT135, INT136, INT142, INT151, INT160,	See door locations	Door hardware is in fair condition.			x			x			
4.1.15	Sealant		All room windows, door frames, wood casing, tile to wall transitions, millwork transitions	Interior sealants at window and door casing missing in Municipal Office and Boardroom			x			x			
4.1.16	Wood Window Casings and Stools	INT130, INT139, INT160, INT161, INT162		Evidence of significant water damage and prolonged exposure to moisture in Municipal Office and Boardroom		x				x			
4.1.17	Cabinets and Millwork	INT127, INT133, INT134, INT137, INT144, INT153, INT155, INT164, INT165, INT166, INT167	Municipal Offices, MNRF Parks Office, File Room, Copy Room, Boardroom, Kitchenette, Library, Mechanical Room	Municipal Office Service window is not wheelchair accessible. Kitchenette cabinets are in fair condition. Library shelves are in fair condition. Lack of millwork for supply storage in Mechanical room.		x				x			
4.1.18	Furniture Systems	INT152, INT153, INT154, INT155, INT157, INT158, INT159, INT160, INT161, INT162	Municipal Offices, MNRF Parks Office, File Room, Copy Room, Boardroom, Kitchenette, Library	Cubicles and mobile furniture appear to be in fair condition			x				x		
4.1.19	Washroom Accessories	INT137, INT138, INT140, INT141, INT144, INT145, INT146, INT148	Male Washroom, Female Washroom and BF Washroom	Noted component is part of recent renovation work and therefore is in good condition.				x				x	
4.1.20	Washroom Partitions	INT137, INT140, INT141, INT146	Male Washroom, Female Washroom and BF Washroom	Noted component is part of recent renovation work and therefore is in good condition.				x				x	
4.1.21	Fire Separations	INT121, INT122, INT149	Corridor and Mechanical Room	Fire separation between Corridor and Municipal Office has been compromised in several locations above ACTILE ceiling. Wiring penetration require firestopping sealant. Firestopping required at interface of rated GWB partitions and structural elements. Fire dampers appear to be in the open position to allow return air in ceiling plenum to return to HVAC in attic Mechanical Room.		x			x				
4.1.22	Access Panels and Fall Arrest	INT115, INT118	Corridor	Enclosed Mechanical Room above Corridor access panel is concealed. Fold-down access ladder is recommended. Existing condition is unsafe.		x			x				
4.2 COMMUNITY HALL													
4.2.1	ACTILE Ceilings	INT009, INT011, INT016, INT017, INT051, INT058, INT063, INT064, INT068, INT069, INT074, INT089, INT091, INT093, INT096, INT097	Lobby, Corridor, Janitor Storage; including Washroom and Janitorial Office, Kitchen, Bar, Kitchen Storage including Washroom, Kitchen Washroom	Significant yellowing and evidence of previous tile replacement in most locations. Kitchen Storage Room has water stained tiles which could be evidence of past and present roof leaks.		x				x			
4.2.2	GWB Ceilings	INT022, INT023, INT024, INT025, INT036, INT061, INT080, INT093, INT094, INT102, INT103, INT111	Gymnasium, Electrical Room, Showers	Gymnasium ceiling shows significant wear and damage from impacts. Electrical room ceiling remains unfinished		x			x				
4.2.3	GWB Walls	INT007, INT012, INT016, INT021, INT022, INT025, INT031, INT033, INT051, INT052, INT053, INT054, INT059, INT062, INT064, INT065, INT066, INT067, INT068, INT074, INT076, INT077, INT078, INT083, INT086, INT089, INT090, INT092, INT093, INT094, INT096, INT109	All rooms excluding Showers and portion of Gymnasium	Generally fair condition in most areas. Some damage occurring in Gymnasium, Kitchen, Corridor and Kitchen Storage Room near Shower. Electrical room GWB is in poor condition and does not comply with required fire resistance rating of the room. Ceiling Access Hatch is not rated. various penetrants such as conduit, cables, and wiring are not properly fire stopped.		x			x				
4.2.4	Wall Tile	INT059, INT060, INT061, INT079, INT080, INT081	Janitor Shower, Kitchen Storage Shower	Tiles appear to be in fair condition. Showers remain out-of-use and are predominantly used for storage.		x				x			

Building Condition Assessment / Costing Chart

					Condition			Recommended Replacement				
					Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years	
Building Component	Photo No.	Location	Observations	Standard Useful Life (years)								
4.2.5	Paint Finish	Refer to GWB Walls	All rooms excluding Showers	Generally in fair condition and appears to be well maintained in most areas. Some damage was observed in Kitchen Storage Area near the Shower	x			x				
4.2.6	Vinyl Tile Flooring	INT007, INT009, INT010, INT015, INT016, INT018, INT020, INT031, INT036, INT040, INT041, INT043, INT045, INT046, INT049, INT051, INT052, INT053, INT055, INT056, INT062, INT064, INT066, INT067, INT070, INT072, INT073, INT082, INT085, INT089	Gymnasium, Bar, Kitchen, Kitchen Washroom, Corridor, Storage/Mechanical Room, Janitor Storage including Office and Washroom,	Minor Abrasive Damage in Kitchen and Bar. Significant warping of tiles in Gymnasium.	x				x			
4.2.7	Ceramic Tile Flooring	INT59, INT060, INT079, INT081, INT105, INT106, INT109	Showers and Vestibule	Ceramic tiles appear to be in fair condition in shower but poor condition at Vestibule. Showers remain out-of-use.	x				x			
4.2.8	Carpet Flooring	INT091, INT092, INT094, INT096	Lobby	Minor visible staining in Lobby.		x			x			
4.2.9	Concrete Flooring	INT022	Electrical Room	Damaged and chipped areas where floor sealer has deteriorated	x			x				
4.2.10	RB and Carpet Base	INT015, INT018, INT020, INT036, INT043, INT053, INT065, INT073, INT078, INT082, INT086, INT092, INT094, INT096, INT107, INT109	All rooms except for Electrical Room	Significant signs of wear and damage present in both Gymnasium, Kitchen, Washrooms and Storage Rooms. See Carpet Flooring condition for replacement of Carpet Base		x			x			
4.2.11	Wood Base	N/A	N/A	N/A								
4.2.12	Interior Wood and Metal Doors	INT007, INT015, INT020, INT021, INT031, INT033, INT034, INT035, INT042, INT043, INT050, INT054, INT077, INT083, INT085, INT096, INT103, INT111	All rooms	Most doors have significant wear and/or visible damage. Door Fire Rating Labels missing or painted over in multiple locations. Doors in all fire separations must be verified for compliance with applicable OBC / Fire Code requirements.	x			x				
4.2.13	Pressed Steel Door Frames	See Interior Wood and Metal Doors	See door locations	Generally in fair condition. Frame Fire Rating labels missing or painted over in multiple locations. Frames in all fire separations must be verified for compliance with applicable OBC / Fire Code requirements.	x			x				
4.2.16	Door Hardware	See Interior Wood and Metal Doors	See door locations	Door hardware is in poor condition. Panic Hardware operates as intended. Door actuator and operator functioning as required for Barrier Free Entry and Exiting at Main Entrance and Vestibule. No door actuators present at North Exit. Barrier free button from Lobby side to enter Municipal Office appears to far from the doorway.	x			x				
4.2.15	Sealant		All room windows, door frames, wood casing, tile to wall transitions, millwork transitions	Interior sealants at window and door casing have deteriorated		x			x			
4.2.16	Aluminum Clad Wood Window Casings and Stools	INT095, INT096, INT106, INT107	Lobby, Vestibule	Evidence of significant water damage and prolonged exposure to moisture	x				x			
4.2.17	Cabinets and Millwork	INT009, INT010, INT023, INT032, INT056, INT057, INT058, INT066, INT067, INT068, INT074, INT076	Bar, Kitchen, Kitchen Storage, Janitorial Office, Stage	Most Cabinets and Millwork appear to have exceeded their life expectancy. Adequate storage is a visible issues, especially for Stage and Kitchen Equipment	x				x			
4.2.18	Washroom Accessories	INT062, INT083, INT086	Janitor and Kitchen Storage Washroom	Accessories appear to be in fair condition.		x			x			
4.2.19	Fire Separations	INT028, INT030, INT098, INT099, INT100, INT101	Lobby, Corridor, Electrical Room, Storage/Mechanical Room	Fire separation between Corridor and Electrical Room damaged / missing. Wall and ceiling separations has been compromised in several locations above ACTILE ceiling including in Lobby and Electrical Room. Wiring penetration require firestopping sealant. Firestopping required at interface of rated GWB partitions and structural elements.	x			x				
4.1.20	Fire Shutters	INT012, INT013, INT039, INT065	Bar, Kitchen	Shutters do not provide adequate seal to frame. Large gaps present at countertop. Generally in very poor condition.	x			x				

Building Condition Assessment / Costing Chart

							Condition			Recommended Replacement			
							Poor	Fair	Good	Immediate	0 - 5 years	5 - 10 years	10 - 20 years
Building Component	Photo No.	Location	Observations	Standard Useful Life (years)									
4.1.21	Access Panels and Fall Arrest	INT048, INT049	Stage	Access Ladders are not adequate and provide little to not protection for falls greater than 3m near Stage. Installed temporary guards are not adequate.		x			x				
4.2.22	Attic Spaces and Mechanical /HVAC Enclosure	INT001, INT002, INT003, INT004, INT005, INT006	Above Gymnasium	Attic areas are missing clearly defined service pathways. Attic insulation should be reinstalled, several areas have loosely piled batt and blanket insulation. Mechanical enclosure above gymnasium us constructed out of rigid foam board taped together. This does not comply by code as no thermal barrier is present.		x			x	x			
4.2.23	Furniture Systems	INT044, INT046, INT049, INT052, INT054, INT055, INT072, INT075, INT076, INT092, INT094, INT103	Stage, Below Stage, Lobby, Kitchen, Storage, Kitchen Storage, Janitorial Office	Community Hall Tables and Chairs show signs of significant wear. Janitorial Office desk in poor condition. Various Furniture items related to Community Hall rental are inappropriately stored in Kitchen Storage Room blocking access to millwork storage cabinets and shelving.		x				x			
4.2.24	Stairs	INT045	Gymnasium near Stage	Handrail does not meet current Code requirements.		x				x			
4.2.25	Kitchen Equipment	INT014, INT064, INT067, INT068, INT069, INT070, INT075, INT076, INT087	Kitchen, Bar, Kitchen Storage	Kitchen Equipment appears to be in a relatively fair / clean condition. Equipment in Bar appears to have exceeded its life expectancy.			x			x			
4.3 SENIOR'S CLUB													
4.3.1	ACTILE Ceilings	INT169, INT170, INT171, INT172, INT173, INT174, INT187, INT188	All rooms	Tiles and grid appear in good condition in all rooms			x					x	
4.3.2	GWB Ceilings	INT175, INT191	All rooms, rated ceiling membrane above ACTILE	Further investigation is required to determine rated ceiling membrane @ u/s of roof framing is not compromised by penetrants			x					x	
4.3.3	GWB Walls	INT172, INT174, INT181, INT182, INT183, INT184	All rooms	Generally in fair condition and appears to be well maintained			x					x	
4.3.4	Paint Finish	INT172, INT174, INT181, INT182, INT183, INT184	All rooms	Generally in fair condition and appears to be well maintained			x					x	
4.3.5	Vinyl Tile Flooring	INT174, INT182, INT183, INT187, INT188	Senior's Kitchen, Washroom, Storage Room	Minor Abrasive Damage in Kitchenette			x			x			
4.3.6	Carpet Flooring	INT169, INT170, INT171, INT172, INT173, INT174	Senior's Lounge	Generally well maintained with no visible staining			x					x	
4.3.7	RB / Carpet Base	INT169, INT170, INT171, INT172, INT173, INT174	All rooms	Generally well maintained with no visible staining or delamination from walls			x			x			
4.3.8	Interior Wood / Metal Doors	INT168, INT174, INT181, INT183, INT185, INT189	All rooms	Generally in fair condition and appears to be well maintained			x					x	
4.3.9	Pressed Steel Door Frames	See Interior Wood and Metal Doors	See door locations	Generally in fair condition and appears to be well maintained			x					x	
4.3.10	Door Hardware	See Interior Wood and Metal Doors	See door locations	Door hardware is in fair condition. Panic Hardware is operational.			x					x	
4.3.11	Sealant		All room windows, door frames, wood casing, tile to wall transitions, millwork transitions	Interior sealants at window and door casing in poor condition		x				x			
4.3.12	Wood Window Casings and Stools	INT170, INT171, INT180	Senior's Lounge, Senior's Kitchen	Evidence of significant water damage and prolonged exposure to moisture in Senior's Lounge		x				x			
4.3.13	Cabinets and Millwork	INT182, INT184, INT186, INT187, INT188, INT189, INT190	Senior's Kitchen, Storage Room, Washroom	Millwork in Kitchen is in good condition. Storage room shelving is in fair condition.			x					x	
4.3.14	Washroom Accessories	INT181, INT182	Washroom	Accessories are in fair condition, with some accessories appear newly replaced. Noted stainless steel grab bars.			x			x			
4.3.15	Fire Separations	INT175, INT191, INT176, INT177, INT178, INT179	Senior's Lounge	Fire separation between Senior's Club and Community Centre has been compromised in several locations above ACTILE ceiling. Wiring penetration require firestopping sealant.		x			x				
4.3.16	Kitchen Equipment	INT186, INT187, INT188, INT189	Kitchen	Kitchen Equipment appears to be in a relatively good / clean condition				x				x	

ARCHITECTURAL BUILDING CONDITION ASSESSMENT PHOTOGRAPHS

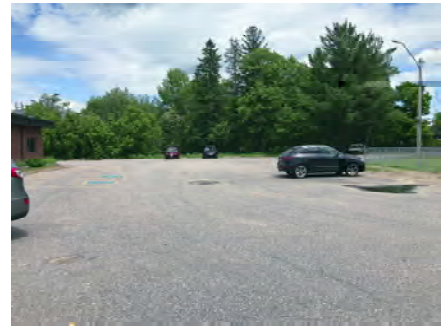
SITE



SITE001 - North East Parking Area



SITE002 - South East Parking Area



SITE003 - North East Parking Area



SITE004 - East Parking Area



SITE005 - South Site Area looking North



SITE006 - South Site Area looking East



SITE007 - Septic Field Bed



SITE008 - South West Site Area Looking North East



SITE009 - South West Site Area looking North



SITE010 - West Site Area looking Sout



SITE011 - West Exterior Stair



SITE012 - West Site Area looking Sout



SITE013 - West Site Area looking Sout



SITE014 - West Site Area looking North



SITE015 - West Site Area looking East



SITE016 - North West Site Area lookin



SITE017 - North West Site Area lookin



SITE018 - North West Site Area lookin



SITE019 - North West Site Area lookin



SITE020 - North West Site Area lookin



SITE021 - North East Site Area looking



SITE022 - North Site Area looking Wes



SITE023 - North Site Area looking Sout



SITE024 - North Site Area looking Nort



SITE025 - North Site Area looking Sout



SITE026 - North East Site Area looking



SITE027 - Aerial View looking East



SITE028 - Aerial View looking North



SITE029 - Aerial View looking West



SITE030 - Aerial View looking South



SITE031 - Site Overview

**ARCHITECTURAL BUILDING CONDITION
ASSESSMENT PHOTOGRAPHS**

EXTERIOR STRUCTURES



ES001 - Exterior Overhang Overview



ES002 - Exterior Overhang at Municipal Building



ES003 - Exterior Overhang Roof



ES004 - Exterior Overhang Soffit



ES005 - Exterior Overhang Typical Post



ES006 - Exterior Overhang Soffit Damage



ES007 - Exterior Storage Container Overview



ES008 - North Exterior Storage Container



ES009 - South Exterior Storage Container



ES010 - Exterior Storage Container Ty



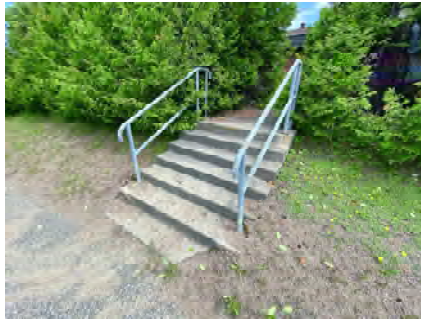
ES011 - Exterior Storage Container Pu



ES012 - Exterior Storage Container Ty



ES013 - Exterior Storage Container Re



ES014 - West Exterior Stairs

**ARCHITECTURAL BUILDING CONDITION
ASSESSMENT PHOTOGRAPHS**

MUNICIPAL BUILDING EXTERIOR



EX001 - Municipal Office East Overhang



EX002 - Municipal Office East Exterior Wall



EX003 - Municipal Office Typical East Window Sill



EX004 - Municipal Office Typical East Window Head



EX005 - Municipal Office South East Corner



EX006 - Municipal Office South Overview



EX007 - Municipal Office South Service Window Sill



EX008 - Municipal Office South Service Window Head



EX009 - Municipal Office South Exit Door



EX010 - Municipal Office Public Water Filling Station



EX011 - Municipal Office South West Corner



EX012 - Municipal Office West Exterior Wall



EX013 - Municipal Office West Exterior Wall



EX014 - Municipal Office Typical Washroom Window



EX015 - Municipal Office Propane Service



EX016 - Municipal Office Mechanical Exterior Alcove



EX017 Municipal Office North West Exterior Wall



EX018 - Municipal Office North West Corner



EX019 - Municipal Office Exterior Natural Gas Line



EX020 - Community Hall South Gymnasium Wall



EX021 - Community Hall Lower South Roof



EX022 - Community Hall South West Interior Corner



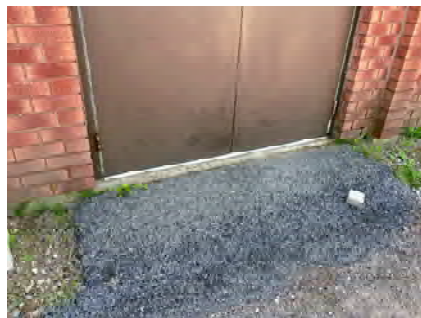
EX023 - Community Hall Fixed Tower



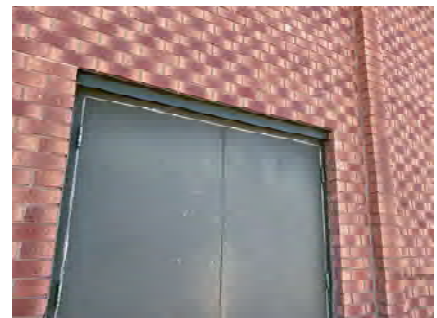
EX024 - Community Hall West Gymnasium Wall



EX025 - Community Hall Typical Gymnasium Exterior Door



EX026 - Community Hall Typical Gymnasium Exterior Door Sill



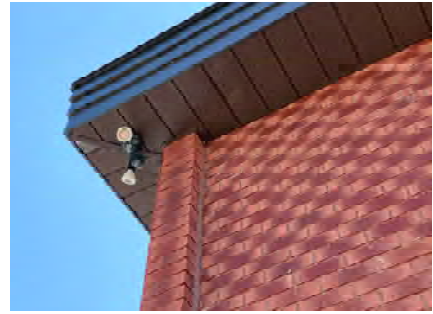
EX027 - Community Hall Typical Gymnasium Exterior Door Head



EX028 - Community Hall Gymnasium
Typical Foundation Wall



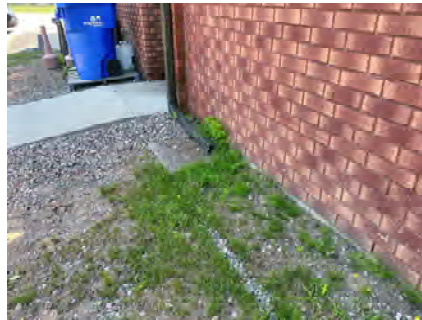
EX029 - Community Hall Gymnasium
Foundation at North West Corner



EX030 - Community Hall North West
Corner Soffit



EX031 - Community Hall North
Foundation Wall



EX032 - Community Hall North
Foundation Wall



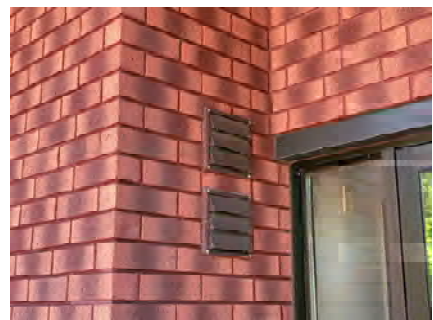
EX033 - Community Hall North Exit



EX034 - Community Hall North Roof



EX035 - Community Hall North Exit
Door Sill



EX036 - Community Hall North Exit
Door Head



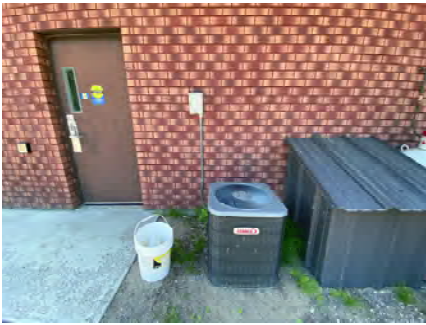
EX037 - Senior Club North Elevation



EX038 - Senior Club North East Exterior Wall



EX039 - Senior Club North Exit Ramp



EX040 - Senior's Club Exit Door



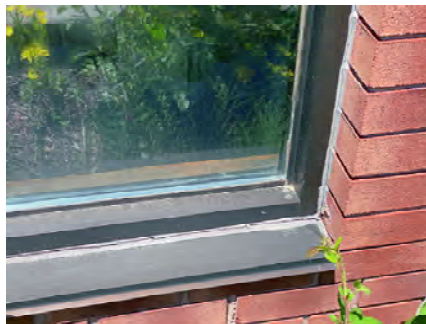
EX041 - Senior Club East Elevation



EX042 - Senior Club Windows



EX044 - Senior Club Typical Window Head



EX043 - Senior Club Typical Window Sill



EX045 - Senior Club East Fascia



EX046 - Senior Club Main Entrance
Wall



EX047 - Senior Club Main Entrance
Brick Corner

**ARCHITECTURAL BUILDING CONDITION
ASSESSMENT PHOTOGRAPHS**

MUNICIPAL BUILDING INTERIOR



INT001 - Gymnasium Attic Space Trusses



INT002 - Gymnasium Attic Space Roof Transition



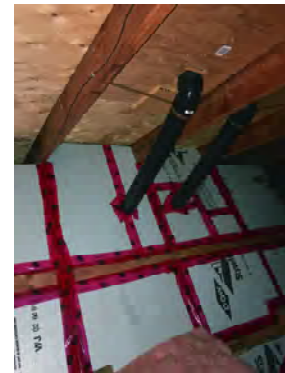
INT003 - Gymnasium Attic Space Typical Joist Insulation



INT004 - Gymnasium Attic Space Insulated Ductwork



INT005 - Gymnasium Attic Space Mech Unit Electrical Panel



INT006 - Gymnasium Attic Space Insulated Wall



INT007 - Bar to Lobby Door



INT008 - Bar to Lobby Door Rating Labels



INT009 - Bar looking to Lobby



INT010 - Bar looking to Kitchen



INT011 - Bar Ceiling



INT012 - Bar Fire Shutter



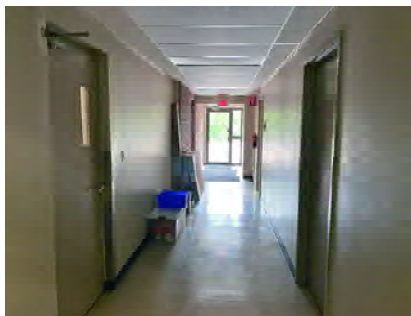
INT013 - Bar Fire Shutter Rating Label



INT014 - Bar Coolers



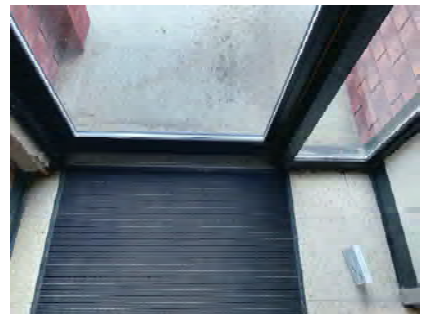
INT015 - Corridor looking towards Kitchen



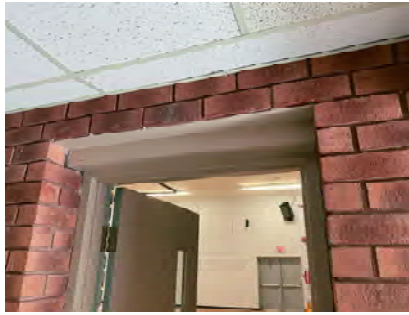
INT016 - Corridor looking towards East Exterior Exit



INT017 - Corridor East Exit Door Head



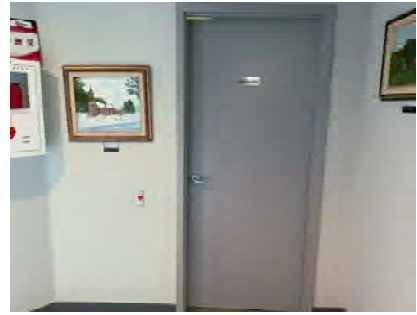
INT018 - Corridor East Exit Door Sill



INT019 - Corridor Typical Gymnasium Door Head



INT020 - Corridor Typical Gymnasium Door Transition



INT021 - Electrical Room Door looking from Lobby



INT022 - Electrical Room Overview looking West



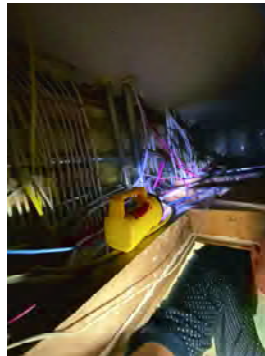
INT023 - Electrical Room Overview looking East



INT024 - Electrical Room looking South



INT025 - Electrical Room Ceiling Access Panel



INT026 - Electrical Room Ceiling Plenum looking North



INT027 - Electrical Room Ceiling Plenum looking East



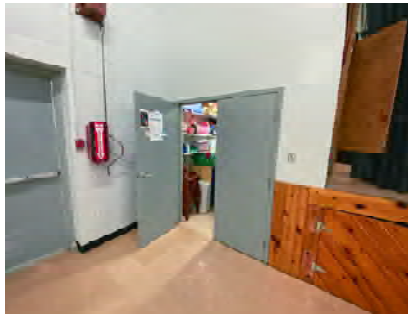
INT028 - Electrical Room Ceiling Plenum looking South



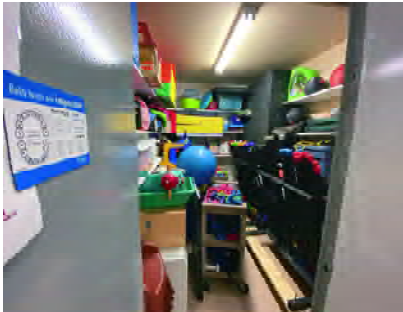
INT029 - Electrical Room Service Pit



INT030 - Electrical Room Electrical Chase



INT031 - Gymnasium Storage Room Door



INT032 - Gymnasium Storage Room



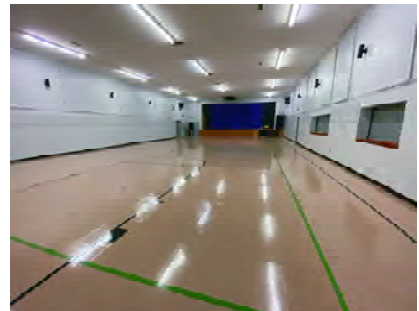
INT033 - Gymnasium Door from Lobby



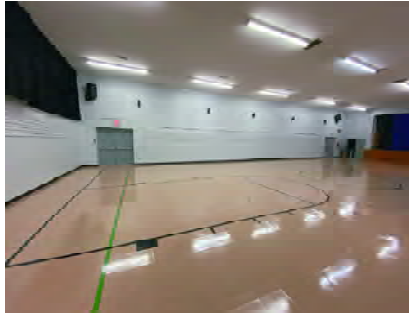
INT034 - Gymnasium Door from Lobby Frame Rating



INT035 - Gymnasium Door from Lobby Door Rating



INT036 - Gymnasium looking East



INT037 - Gymnasium looking North



INT038 - Gymnasium looking West



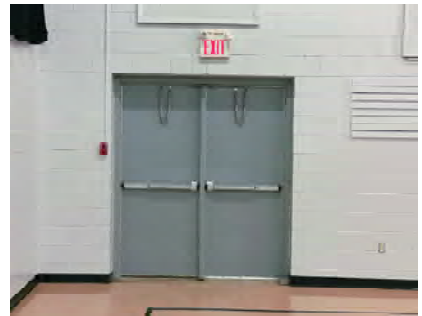
INT039 - Gymnasium looking South



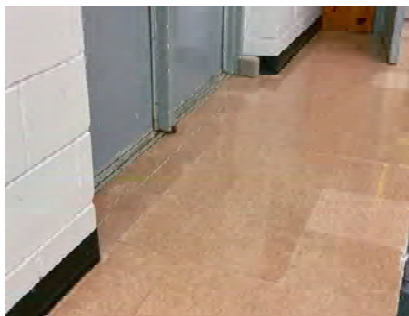
INT040 - Gymnasium typical floor finish



INT041 - Gymnasium Floor Construction



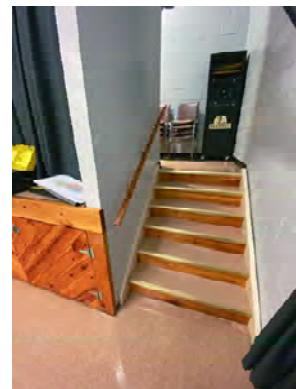
INT042 - Gymnasium Typical Exterior Door



INT043 - Gymnasium Typical Exterior Door Sill



INT044 - Gymnasium Chair Storage



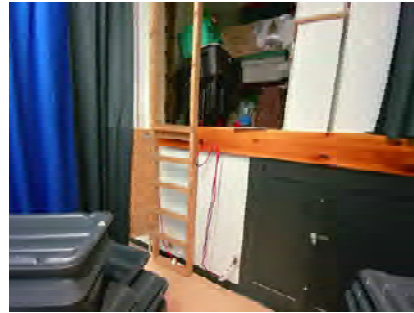
INT045 - Gymnasium Stage Stair



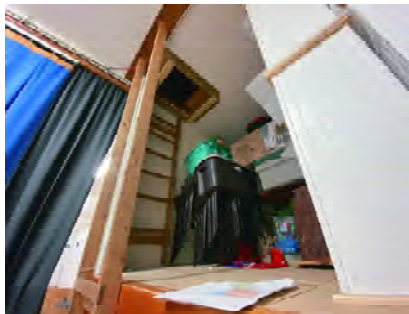
INT046 - Gymnasium Stage looking North



INT047 - Gymnasium Stage looking South



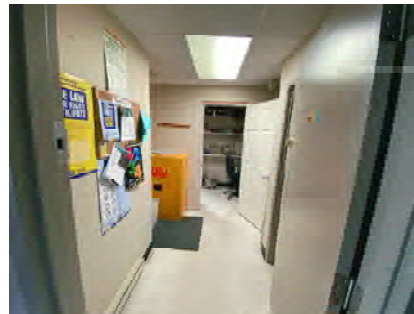
INT048 - Gymnasium Stage looking at Upper Storage Area



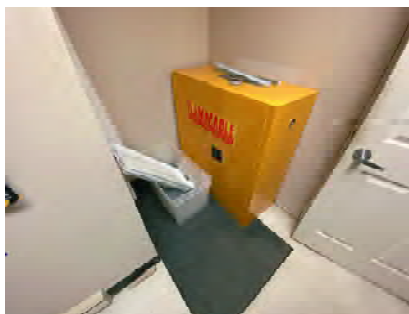
INT049 - Gymnasium Stage looking at Attic Access Hatch



INT050 - Janitor Storage Door



INT051 - Janitor Storage looking towards Janitorial Office



INT052 - Janitor Storage Flammable Cabinet



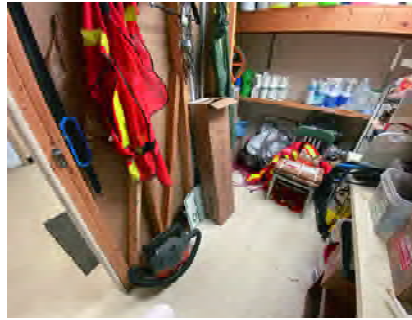
INT053 - Janitor Storage looking towards Corridor



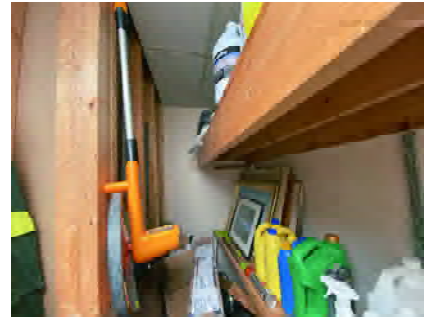
INT054 - Janitorial Storage Millwork



INT055 - Janitorial Office Desk



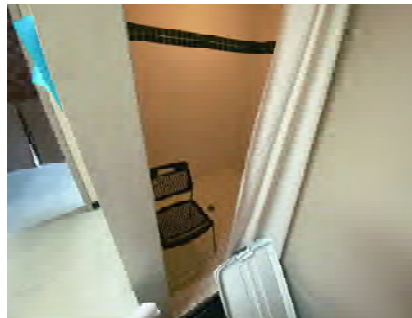
INT056 - Janitorial Office Fixed Shelving



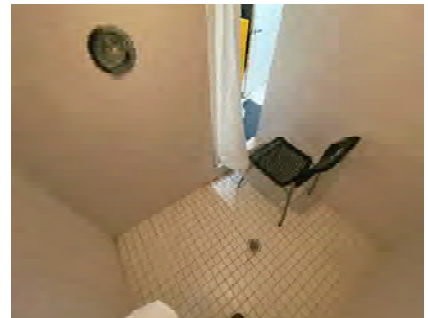
INT057 - Janitorial Office Alcove



INT058 - Janitorial Office looking towards Janitor Storage Door



INT59 - Janitor Storage Shower



INT060 - Janitor Storage Shower Floor



INT061 - Janitor Storage Shower Ceiling



INT062 - Janitor Washroom



INT063 - Janitor Washroom Ceiling



INT064 - Kitchen looking towards Bar



INT065 - Kitchen looking towards Gymnasium



INT066 - Kitchen looking towards Corridor



INT067 - Kitchen Countertop



INT068 - Kitchen Overview



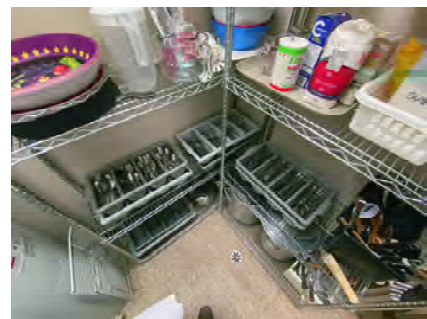
INT069 - Kitchen Range Hood



INT070 - Storage Room Door



INT071 - Storage Room Hot Water Tanks



INT072 - Storage Room Furniture



INT073 - Kitchen Storage Door from Corridor



INT074 - Kitchen Storage Overview



INT075 - Kitchen Storage Millwork



INT076 - Kitchen Storage Freezer



INT077 - Kitchen Storage looking towards Corridor



INT078 - Kitchen Storage looking towards Shower



INT079 - Kitchen Storage Shower



INT80 - Kitchen Storage Shower Ceiling



INT081 - Kitchen Storage Shower Floor



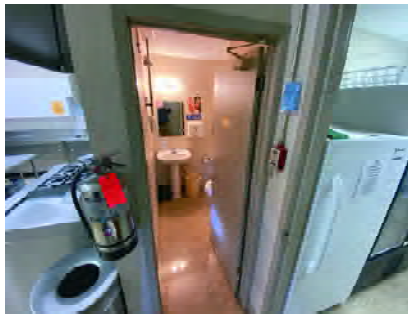
INT082 - Kitchen Storage Washroom



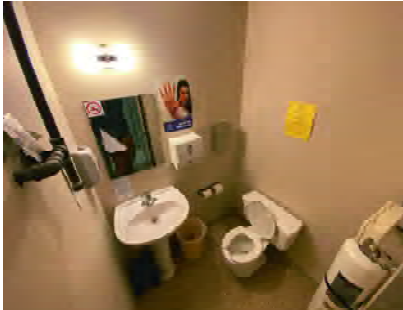
INT083 - Kitchen Storage Washroom



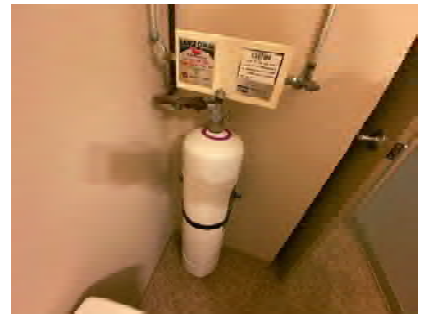
INT084 - Kitchen Storage Washroom Ceiling



INT085 - Kitchen Washroom Door from Kitchen



INT086 - Kitchen Washroom



INT087 - Kitchen Washroom Fume Hood Suppression System



INT088 - Storage and Mechanical Room Door



INT089 - Storage and Mechanical Room Hot Water Tank



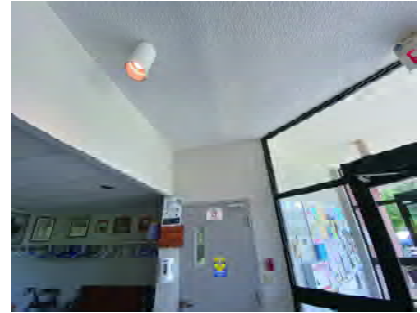
INT090 - Storage and Mechanical Room Thru-wall Ventilation



INT091 - Lobby looking towards Kitchen



INT092 - Lobby Coat Area



INT093 - Lobby Entrance



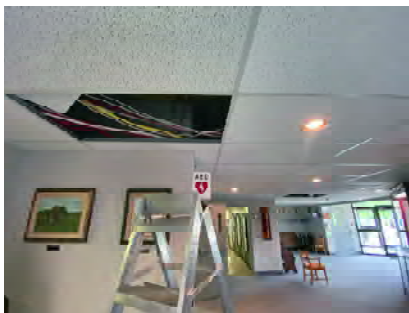
INT094 - Lobby Entrance Curtain Wall



INT095 - Lobby Curtain Wall Stool



INT096 - Lobby near Municipal Office Entrance



INT097 - Lobby Ceiling Access Panel



INT098 - Lobby Ceiling Space looking North



INT099 - Lobby Ceiling Space looking East



INT100 - Lobby Ceiling Space looking South



INT101 - Lobby Ceiling Space looking towards Electrical Room



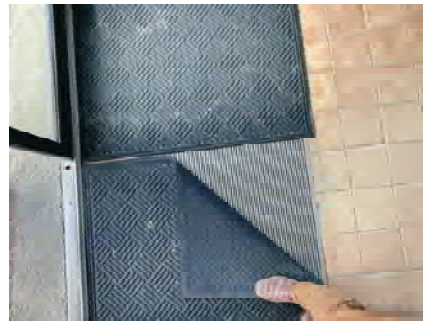
INT102 - Vestibule Overview



INT103 - Vestibule Overview from Lobby



INT104 - Vestibule Main Entrance Door



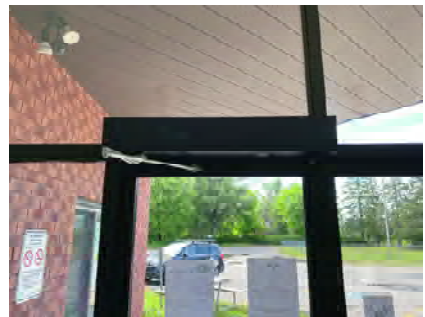
INT105 - Vestibule Entry Floor Mat



INT106 - Vestibule Floor



INT107 - Vestibule Window Stool



INT108 - Vestibule Main Door



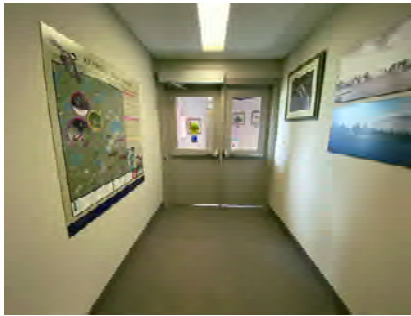
INT109 - Vestibule looking towards Senior's Club



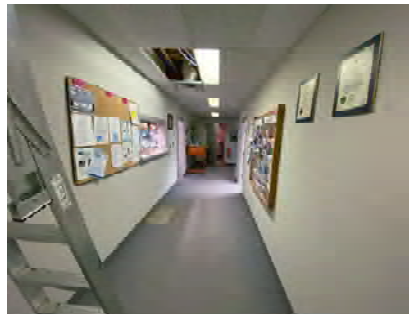
INT110 - Vestibule Annunciator Panel



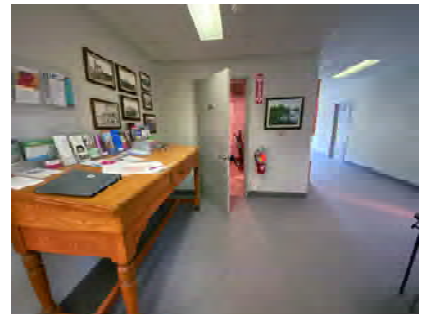
INT111 - Vestibule Ceiling above Lobby Door



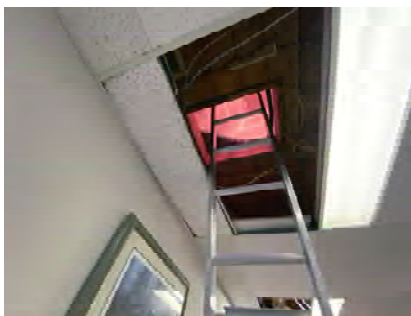
INT112 - Municipal Office Door from Lobby



INT113 - Municipal Office Corridor



INT114 - Municipal Office Corridor



INT115 - Municipal Office Mechanical Room above Corridor



INT116 - Municipal Office Mechanical Room above Corridor



INT117 - Municipal Office Mechanical Room above Corridor Heater



INT118 - Mechanical Room above Corridor Access Hatch



INT119 - Typical Ceiling Space Above Corridor



INT120 - Corridor towards South Exit



INT121 - Corridor Above Ceiling towards Library



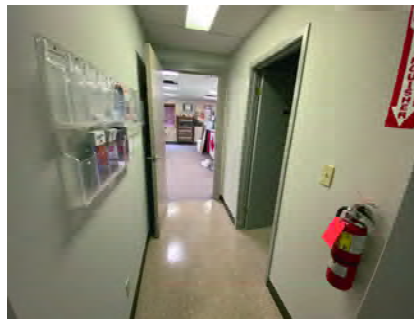
INT122 Corridor Above Ceiling towards Municipal Offices



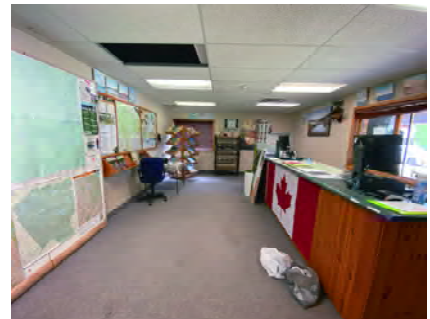
INT123 - South Exit Door Head



INT124 - South Exit Door Sill



INT125 - Corridor towards Boardroom



INT126 - Boardroom looking from Corridor



INT127 - Boardroom near Service Window



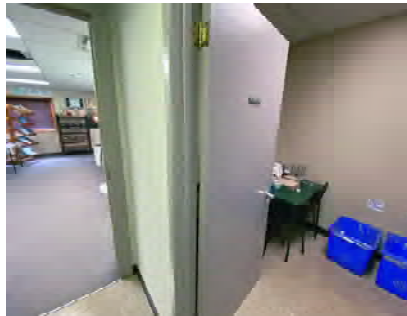
INT128 - Boardroom looking towards Corridor



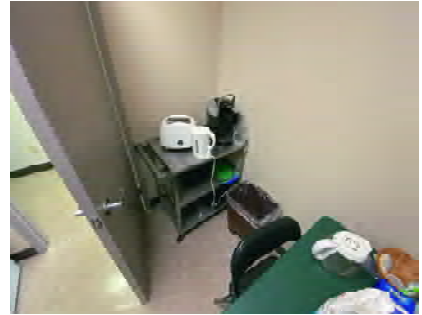
INT129 - Boardroom Ceiling



INT130 - Boardroom Window



INT131 - Kitchenette Door



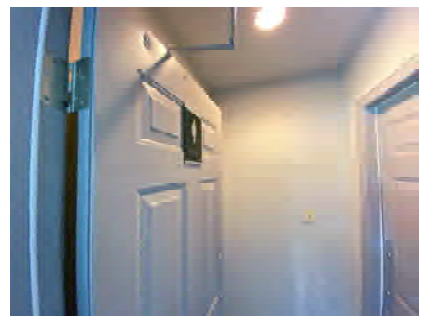
INT132 - Kitchenette looking towards Boardroom



INT133 - Kitchenette Upper Cabinet Millwork



INT134 - Kitchenette Lower Cabinet Millwork



INT135 - Female Washroom Vestibule Door



INT136 - Female Washroom Vestibule



INT137 - Female Washroom Floors



INT138 - Female Washroom Sinks



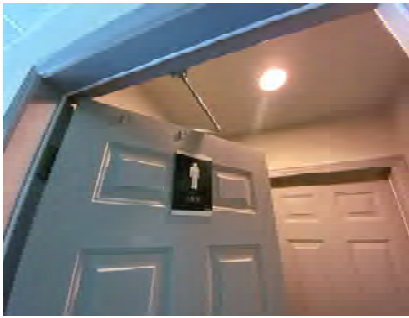
INT139 - Female Washroom Window



INT140 - Female Washroom looking towards Corridor



INT141 - Female Washroom Typical Stall



INT142 - Male Washroom Vestibule Door



INT143 - Male Washroom Vestibule



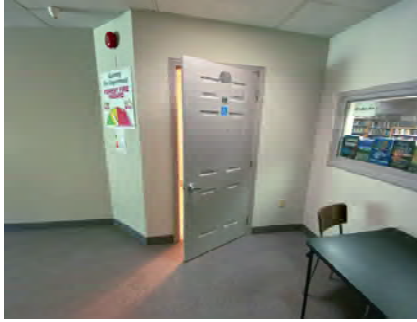
INT144 - Male Washroom Sinks



INT145 - Male Washroom Fixtures



INT146 - Male Washroom Stall



INT147 - BF Washroom Door



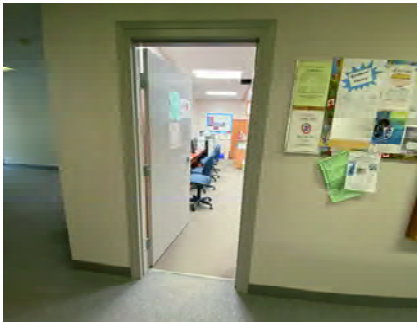
INT148 - BF Washroom



INT149 - Mechanical Room



INT150 Mechanical Room towards Corridor Door



INT151 - Library Door



INT152 - Library from Corridor



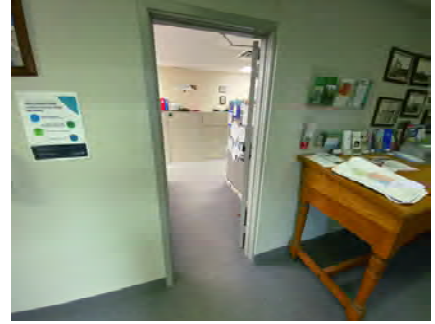
INT153 - Library Stacks



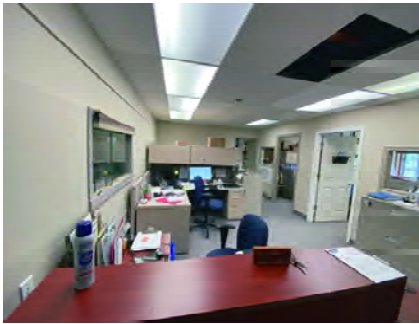
INT154 - Library Circulation Desk



INT155 - Library Children's Area



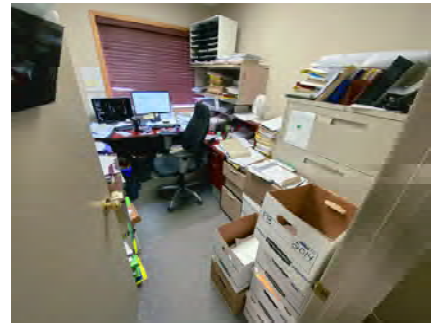
INT156 - Municipal Office Door



INT157 - Municipal Office towards File



INT158 - Municipal Office towards Boardroom



INT159 - Office Near Boardroom



INT160 - Office between Clerk and Boardroom



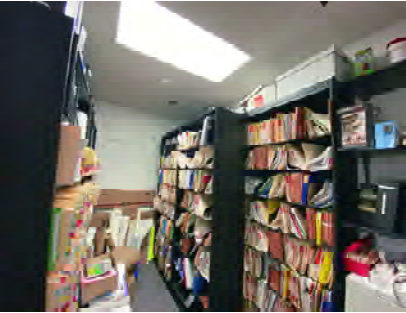
INT161 - Clerk's Office



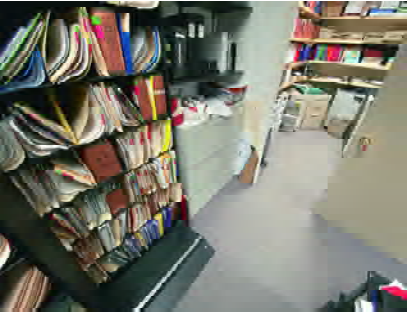
INT162 - Office Near Copy Room



INT163 - File Room Door from Municip



INT164 - Fileroom High Capacity Shelvi



INT165 - File Room looking towards C



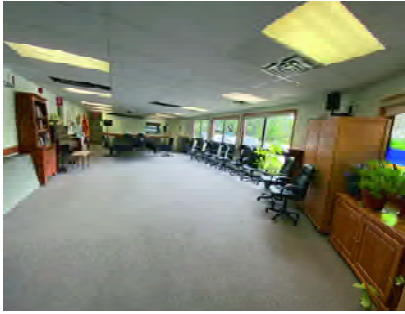
INT166 - Copy and Supply Room Print



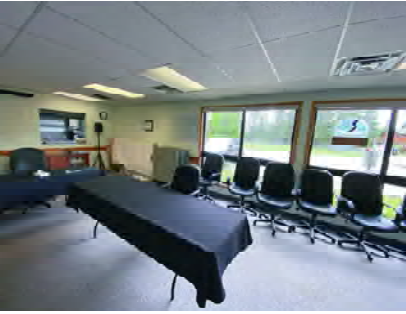
INT167 - Copy and Supply Room Stora



INT168 - Senior Lounge Door from Lob



INT169 - Senior Lounge looking toward



INT170 - Senior Lounge looking North



INT171 - Senior Lounge looking East



INT172 - Senior Lounge looking South



INT173 - Senior Lounge looking West



INT174 - Senior Lounge North Exit



INT175 - Senior Lounge Ceiling Membr



INT176 - Senior Lounge Ceiling Space



INT177 - Senior Lounge Ceiling Space



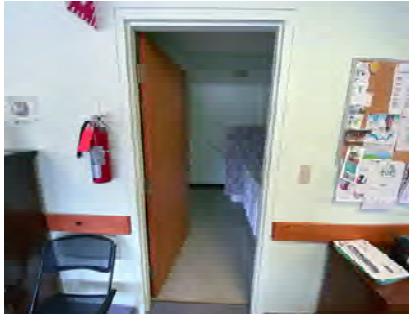
INT178 - Senior Lounge Ceiling Space



INT179 - Senior Lounge Ceiling Space



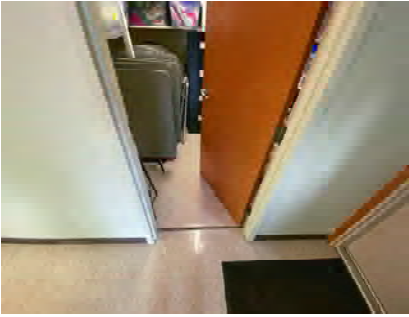
INT180 - Senior Lounge Typical Windo



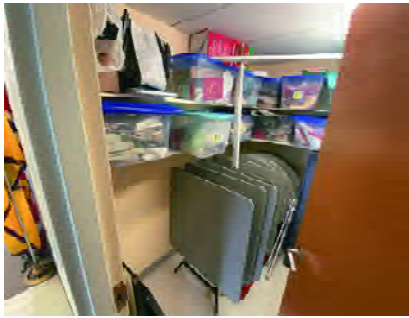
INT181 - Senior Lounge Washroom Do



INT182 - Senior Lounge Washroom



INT183 - Senior Storage Room Door



INT184 -Senior Storage Room



INT185 - Senior Kitchen Door



INT186 - Senior Kitchen



INT187 - Senior Kitchen



INT188 - Senior Kitchen



INT189 - Senior Kitchen



INT190 - Senior Kitchen Fire Shutter



INT191 - Senior Kitchen Above Ceiling

REPORT DISCLAIMER

Report Disclaimer

This work is intended solely for the Client, Town of Kearney. The scope of work and related responsibilities are defined in the body of the report and any proposals issued to the Client. Any use which a third party makes of this work, or any reliance on or decisions to be made based on it, are the responsibility of such third parties. Decisions made or actions taken as a result of our work shall be the responsibility of the parties directly involved in the decisions or actions. Any third party user of this report specifically denies any right to any claims, whether in contract, tort and/or any other cause of action in law, against the Consultant (including Sub-Consultants, their officers, agents and employees).

The work reflects the Consultant's best judgement in light of the information reviewed by them at the time of preparation. Unless otherwise agreed in writing by Larocque Elder Architects, Architectes Inc., it shall not be used to express or imply warranty as to the fitness of the property for a particular purpose. This is not a certification of compliance with past or present regulations. No portion of this report may be used as a separate entity; it is written to be read in its entirety.

This work does not wholly eliminate uncertainty regarding the potential for existing or future costs, hazards or losses in connection with a property. No physical or destructive testing and no design calculations have been performed unless specifically recorded. Conditions existing but not recorded were not apparent given the level of study undertaken. Only conditions actually seen during examination of representative samples can be said to have been appraised and comments on the balance of the conditions are assumptions based upon extrapolation. We can perform further investigation on items of concern if so required.

Only the specific information identified has been reviewed. The Consultant is not obligated to identify mistakes or insufficiencies in the information obtained from the various sources or to verify the accuracy of the information.

Larocque Elder Architects, Architectes Inc. is not investigating or providing advice about pollutants, contaminants or hazardous materials.

ARCHITECTURAL EXECUTIVE SUMMARY

Architectural Executive Summary

The format of the report lends itself easily as a reference guide. Since these documents are to be an interactive tool for future planning, the deliverables provided are designed to be updatable, and provide an excellent foundation, or “starting point”, for future reviews, future request for proposals, costing analysis, funding presentations and reporting.

Architectural

1. Site

Generally the site conditions are between fair to poor. Poor storm water management and lack of ongoing maintenance has advanced the deterioration of the gravel driveways, parking lots and walkways. Surface water runoff from rain and snow redirects debris onto hard surface areas. Surface water pools on gravel surfaces creating pot holes and crevasses creating pedestrian tripping hazards. In addition to addressing the storm water management issues by regrading the site, soft and hard landscaping could greatly benefit from an annual maintenance program to upkeep the property and correct issues and site hazards such as adjacent tree / limb overhanging the existing building. The deterioration of the exterior concrete steps and landing located on the south-west side of the building pose potential hazard to the public, especially when not maintained. Due to the steep grade near the north extent of the property the Client should consider some form of guard or barrier to mitigate vehicles or pedestrians falling into the steeply wooded area. Signage should also be installed near the north-west parking lot exit to indicate that exiting vehicles shall yield to oncoming traffic from Esther Street. The above noted conditions should be addressed as soon as possible. Seasonal site concerns, observed during the winter months only, include clearly delineating the snowmobile trail near the north-east extent of the property as well as other site hazards due to winter maintenance and snow removal. Other remaining specific areas of concern were documented in the BCA chart and should be read in conjunction with this executive summary for a full list of recommendations.

2. Exterior Structures

The two (2) premanufactured shipping containers located on the north-west side of the property, used for storage, are in fair condition with the exception of poorly placed leveling blocks used to install the containers in their current location. Both storage containers should be placed on solid structure and/or an engineered, regraded area. The attached overhang located on the South side of the Municipal Office appears to be in fair to poor condition. Signage structures including the illuminated signage pylon appears to be in fair condition.

3. Building Exterior

The building exterior is in relatively fair condition. Both the roofing, fascia and soffits have been recently replaced. There are some areas of the exterior facades, particularly near the Gymnasium where the face of the brick veneer extends +/- 1” in front of the foundation wall below. Some cracking in the foundation wall near the Gymnasium was observed, as well as multiple areas where concrete parging was missing. Excess mortar remaining on the face of the brick veneer was observed in multiple locations; cleaning and repair recommended in select locations as noted in the BCA. Metal cladding / fascia panel at Gymnasium roof transition to Senior’s Club Roof has delaminated with exterior wall sub-construction visible from the exterior. Metal cladding should be reinstalled c/w appropriate flashing and trims to prevent rain and/or moisture from entering the building. Staining and dents in stepped prefinished metal fascia near the East facade of the Senior’s Club are suspected evidence of ice damming, caused by improper ventilation and insulation within the attic space. Ice damming in these locations would be considered public hazards due to the buildings proximity to the adjacent parking spaces as well as cause premature deterioration of the existing asphalt shingles. Additional investigation is recommend to determine the cause and course of action to remediate ice damming.

4. Building Interior

Generally the building interior has been maintained with regular building maintenance but overall is in fair to poor condition. Most interior components have exceeded their life expectancy, such as the gymnasium GWB ceiling and vinyl tile flooring, baseboards, most millwork, interior doors, door frames, hardware. Based on the current Group A Occupancy and Occupant Load of the Community Hall and Senior’s Club, the number of washroom water closets and fixtures accessible within both areas is inadequate. Additional washroom water closets and fixtures should be added to accommodate the occupant load of both user groups. Barrier Free Washrooms should also be added / upgraded in both the Community Hall and Senior’s Club to OBC barrier-free standards. The acoustic ceiling tiles in the Municipal Offices, Corridors, and most of the Community Hall areas are starting to show their age. Replacement of tiles is recommended.

In terms of life safety, LEA visually observed several existing fire separations including fire rated wall assemblies, ceiling assemblies, door frames, doors, overhead coiling counter doors, fire dampers, and other miscellaneous fire stopping and accessories. Many rated fire separations in both wall and ceiling assemblies were compromised by wiring, conduit, structural elements, deterioration in the rated membrane itself and other miscellaneous penetrants and voids. This is a major concern as all required fire separations must be continuous with adequate fire-stopping at all material transitions. Existing rated fire separations including all components as previously noted should be reviewed, repaired, reinstated and maintained. Further investigation is required to evaluate all existing conditions which could not be confirmed due to the limited visual inspection conducted as part of this BCA. All penetrants through identified fire separations immediately require fire stopping or in some cases may require appropriate engineered fire stopping solutions to accommodate each existing penetration type. All malfunctioning required door closers should be replaced. All contents impeding on required exiting widths in the halls/ corridors and/or office spaces should be relocated immediately.

5. BCA Overview

From an overall Architectural perspective, the condition of many exterior and interior building materials have reached or exceeded their life expectancy. The vast majority of the building was either built or renovated over 30 years ago and therefore obvious signs of deterioration are beginning to be visually apparent. In summary, the most concerning issues which need to be immediately addressed include reinstating all fire separations, updating the building to meet current OBC requirements, and repair obvious building envelope/site deterioration which could cause failure of otherwise intact existing assemblies and structural components. Other than material failures, the second most immediate concern is related to each user group not having enough space. All user groups are either using portions of their existing programmed spaces as storage, or they are occupying spaces/reprogramming them in ways which do not comply with current OBC requirements. Further investigation to add new program spaces or reprogram existing spaces to better accommodate each user group must be undertaken to resolve many of the OBC compliance issues observed. As many of the code compliance violations require immediate action, this investigative work should be undertaken as soon as possible.

Based on the Structural Building Condition Assessment the building's structural elements are generally in fair condition. Of the areas observed by A2S, there are some select areas in the interior ceilings, block walls, foundation and exterior brick veneer which requires immediate repair and monitoring. This being said, in general the Municipal Building has minimal structural related issues which are not immediately threatening the overall integrity of the existing building.

The Mechanical and Electrical Report generally notes several OBC issues related to the existing improper installation of HVAC equipment, lack of ventilation, plumbing, concealed wiring in ceiling spaces, outdated life safety and non-compliant fire suppression systems. Other issues are generally related to the exceeded life expectancy HVAC units and plumbing fixtures throughout the building noted in the Mechanical and Electrical Report. Due to both the quantity of equipment and fixtures exceeding their useful life, as well the extensive number of OBC related violations related to Mechanical and Electrical, the Mechanical and Electrical systems are in poor condition with some items requiring immediate action.

STRUCTURAL BUILDING CONDITION ASSESSMENT REPORT

STRUCTURAL CONDITION ASSESSMENT

KEARNEY MUNICIPAL OFFICE
8 MAIN STREET
KEARNEY, ONTARIO

Our Project No.: 20089A

July 31, 2020

Prepared for:
Larocque Elder Architects Inc.
188 Fifth Ave E
North Bay, Ontario
P1B 1N6
Attention: Jean Larocque



201-289 Cedar St., Sudbury, Ontario, P3B 1M8
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TABLE OF CONTENTS

1.	General Description	2
2.	Executive Summary	2
3.	Scope of Work	2
3.1	Authorization	2
3.2	Mandate	2
3.3	Survey Method	3
3.4	Information Provided	3
4.	Observations and Discussion	3
4.1	Roof Framing Systems.....	3
4.2	Foundation Systems.....	5
5.	Recommendations	7
5.1	Immediate.....	7
5.2	Short-Term (within 0 to 2 years).....	7
5.3	Long-Term (within 2 to 5 years)	7

1. GENERAL DESCRIPTION

The Kearny Municipal Office is a single storey, brick clad building with a total footprint of approximately 992 m² with wood-framed roofs bearing on a combination of conventional wood and concrete masonry walls.

2. EXECUTIVE SUMMARY

The building structure is generally in good condition with no obvious signs of structurally significant deterioration identified during our review.

There are four (4) conditions identified in our report that require further investigation and anticipated remedial structural work:

- An unreinforced opening through the roof framing of the Municipal Office,
- Damaged masonry over a door opening in the Municipal Office,
- A wood ledger board connected to brick cladding that supports the roof over the Electrical Room, and
- The projection of the brick cladding beyond the foundation walls exceeds the requirements of the Ontario Building Code at several locations.

Remaining items identified in our report require relatively minor repairs to prevent continued / accelerated deterioration or to help confirm the cause of the observed condition.

3. SCOPE OF WORK

3.1 Authorization

This report was prepared by Steve Cairns, P.Eng. of A2S Consulting Engineers at the request of Jean Larocque of Larocque Elder Architects Inc. for the purpose of determining the general condition of the existing building structure.

3.2 Mandate

The purpose of our review is to complete a walk-through of the existing building to facilitate a visual inspection of a rational sampling of building finishes, components (where applicable) and structural elements (where possible) so as to develop an opinion on the condition of the existing structural systems based on previous and current uses. This scope of work does not include an exhaustive review of observed conditions against all building code requirements, by-laws or other legislative requirements, all of which can change over time and may or may not retroactively apply to the building.

Our review does not include the removal of material (including finishes), exploratory probing or the use of specialty equipment unless specifically noted in our report.

Unless specifically noted, no structural analyses were performed on any component of the existing building structure. A2S Consulting Engineers assumes no responsibility or liability for the adequacy of the original structural design or the current capacity of the structural systems.

Only conditions observed and noted in our report can be assumed to have been reviewed during our walk-through. All conclusions and/or recommendations pertaining to the condition of the building structure are based on extrapolations and interpolations of the conditions observed.

This report is intended to be read in its entirety, including the scope of work, limitations and all appendices. No part of this report should be read in isolation or taken out of the context of the complete report.

3.3 Survey Method

The building was reviewed by Steve Cairns, P.Eng. of A2S Consulting Engineers on June 25, 2020. During our review, the weather was generally clear with an ambient air temperature of 19°C.

3.4 Information Provided

No existing drawings or other documentation was available that describes the structural systems.

A member of the building maintenance team was briefly interviewed prior to our review and provided a limited overview of the building history. The following information was provided:

- A significant addition was completed to the original building approximately 20-30 years ago,
- Known issues within the building include leakage at the roof vents above the kitchen (since repaired) and cracking in the foundation wall at the northeast corner of the building, and
- There are no other known issues of concern relating to the building structure or envelope.

We cannot attest to the extent of knowledge or accuracy of the persons interviewed.

4. OBSERVATIONS AND DISCUSSION

It is our understanding that the original building was a school (approximately 306 m²) that was constructed circa 1953. We believe that three (3) additions (totalling approximately 686 m²) have since been constructed north and east of the original building from 1989 to 2010.

Refer to Appendix B – Floor Plans for the assumed delineation between construction vintages and for the naming convention referenced throughout the body of this report.

4.1 Roof Framing Systems

4.1.1 Municipal Office

The roof framing generally consists of 64 mm thick, tongue-and-groove wood plank decking spanning roughly 2400 mm between glue-laminated wood beams assumed to bear on a combination of wood framed and/or masonry walls. We could not confirm the wall construction during our review.

A sloped roof structure consisting of flat-plate wood trusses appears to have been added above the original roof. This newer framing runs parallel to the glue-laminated members and therefore likely bears directly on the perimeter and corridor walls.

At the north end of the centre corridor, we identified a mechanical unit in a small Loft above the flat roof structure. An unreinforced opening was cut through the decking (roughly 600 x 600 mm) to access the Loft. The remaining lengths of the cut decking may not have sufficient support to safely support the live loads above. Further review by a Professional Engineer is recommended with the expectation that reinforcement will be necessary at the underside of the deck to meet minimum Building Code requirements.

Where observed, the original wood framing appeared to be in good condition with no obvious signs of structural distress (i.e. excessive deflections, damaged structural members, or damaged finishes). Finishes were also found to be in good condition with no obvious signs of excessive water infiltration.

We generally did not observe any obvious signs of structural distress in the interior walls unless noted. Some smaller cracks were observed in the finishes at doors and windows but are unlikely to be structurally significant in our opinion.

Cracks were observed in the masonry over the door to the Mechanical Room, possibly as a result of a missing or inadequate lintel above the opening. We recommend further investigation by a Professional Engineer with the expectation that a steel lintel will have to be installed.

Lintels in the brick veneer were generally in good condition with no signs of structurally significant deterioration where reviewed. We identified a loose brick and some gaps in the brick mortar joints at the ends of the lintels on the west side of the building that should be repaired.

4.1.2 Community Hall Addition

Roof framing was generally concealed by a gypsum ceiling throughout. Where reviewed, the gypsum sheathing appeared to be in good condition with no obvious signs of cracking or exposure to moisture, unless otherwise noted. Based on the roof slopes and construction materials used elsewhere in the building, we anticipate that the roofs are wood framed (with flat-plate wood trusses or conventional wood framing).

The roof framing above the Gymnasium was reviewed in the vicinity of the attic hatch at the north east corner and was generally confirmed to consist of 16 mm thick plywood sheathing on flat-plate wood trusses spaced at 600 mm centres spanning between concrete masonry walls. We observed evidence of exposure to moisture on some truss members but no obvious signs of structurally significant deterioration. The sheathing appeared to be in generally good condition where reviewed.

We noted some cracks in the gypsum ceiling near the middle of the Gymnasium. The cracks are likely due to shrinkage in the gypsum (there are no control joints in the ceiling) immediately following construction but could possibly be due to excessive deflection of the roof structure under snow load. We recommend repairing the cracks and performing periodic reviews. A detailed investigation by a Professional Engineer is recommended should the cracks recur. We did not see any evidence of water infiltration in the Gymnasium ceiling finishes.

The gypsum ceiling in the kitchen was uneven in places, paint was peeling around ventilation penetrations, and was visibly stained directly above the oven hood. It is our understanding that the Owner recently repaired a roof leak at this location. We recommend repairing the gypsum sheathing to assist in identifying any future leaks in this area. Once the damaged ceiling is removed, we further recommend having the condition of the roof structure visually reviewed by a Professional Engineer for any signs of damage due to water exposure.

Relatively minor cracking was observed in the masonry walls within the Gymnasium (over an opening on the south wall, at the south end of the header over the stage opening, and at a vertical contraction joint in the north wall). These cracks are likely associated with relatively minor foundation settling and/or shrinkage in the materials immediately following construction and are unlikely to represent a significant reduction in the performance level of the structure in our opinion.

Lintels in the brick veneer were generally in good condition with no signs of structurally significant deterioration where reviewed.

4.1.3 Electrical Room Addition

The roof structure for this small addition was generally concealed by a gypsum ceiling that did not exhibit any obvious signs of structural distress (i.e. excessive deflection or cracking) or water infiltration. Where the gypsum was not present, we observed batt insulation between wood members (either flat-plate wood trusses or wood rafters) spaced at 600 mm centres.

Wood walls consisting of 2x6 studs spaced at 400 mm centres support the roof framing on the north and west sides. A wood ledger board bolted to the brick veneer of the Gymnasium appears to be supporting the roof framing. Brick cladding is not normally detailed to safely resist gravity loads and should not be relied upon to support roof loads in most situations. We recommend further review by a Professional Engineer to confirm the suitability of the ledger board support with the expectation that remedial structural work will be necessary to meet the requirements of the Ontario Building Code.

4.1.4 Senior's Club Addition

Similar to the other additions, the roof framing in this area was concealed above a gypsum ceiling with acoustic tiles below. Where reviewed, the gypsum appeared to be in good condition with no obvious signs of excessive cracking or exposure to moisture.

Lintels in the brick veneer were generally in good condition with no signs of structurally significant deterioration where reviewed. We identified two (2) cracked bricks below lintels at the windows on the south wall. We recommend replacing the damaged units with new and repointing the surrounding masonry.

4.2 Foundation Systems

4.2.1 Municipal Office

The floor responded in a manner consistent with that of a concrete slab-on-grade without a crawlspace below. We did not identify any obvious signs of excessive movement or moisture in the carpet flooring throughout.

On the exterior of the building, we confirmed that the perimeter foundation walls consist of concrete masonry units. Aside from some cracking at the top of the foundation wall at the southwest and southeast corners and mortar deterioration on the west elevation, the masonry appeared to be in good condition with no obvious signs of extensive cracking due to excessive foundation settlement. We recommend repairing the cracks and parging the foundation walls at the corners and repointing the mortar joints on the west elevation to mitigate continued deterioration due to water infiltration and subsequent freezing in cold weather.

We noted that the projection of the brick cladding beyond the foundation wall exceeds the maximum permitted by CSA A371 Masonry Construction for Buildings (the lesser of 30 mm or 1/3 the width of the brick) at several locations. Excessive brick projections can cause cracking in the cladding (which can result in progressive deterioration due to freeze-thaw cycling) and overloading of the brick ties. While we did not observe any obvious signs of damage to the brick, we recommend further investigation to confirm the extent of the non-compliance with the expectation that

remedial work (i.e. installation of shelf angles, additional masonry support anchorage, additional parging on the foundation walls... etc.) will be necessary at several locations.

4.2.2 Community Hall Addition

Aside from the wood floor in the Gymnasium, the floors in this addition responded in a manner consistent with that of a concrete slab-on-grade.

We noted that the floor was uneven and that the floor tiles were cracked and/or "puckered" at the edges along the length of the corridor immediately south of the Gymnasium. This could be due to poor finishing of the concrete surface, poor installation of the floor tiles, high moisture content in the slab (possibly due to a high water table), or movement in the soils below. We suspect that excessive movement in the soil is unlikely as there is little indication of settlements in the remaining structure.

Cast-in-place concrete foundations were observed on the east and north perimeter walls of the addition. A significant vertical crack was identified in the foundation at the northeast corner. The location and extent of the crack is not consistent with that typically associated with excessive settlement in the foundations and may be the result of vehicular impact or swelling in the brick cladding. Further review is recommended to determine the cause of the damage and the crack should be repaired to mitigate progressive deterioration due to water infiltration and freeze-thaw-cycling.

Aside from the crack at the northeast corner, we did not identify any other signs of structural distress in the foundations.

Similar to the condition observed at the Municipal Office foundation, we noted that the brick cladding had excessive projection beyond the foundation wall in several locations. Further review is recommend as described in Error! Reference source not found..

4.2.3 Electrical Room Addition

The floor in this room appeared to be a concrete slab-on-grade with no obvious signs of excessive movement or moisture infiltration where reviewed.

Concrete masonry foundations were observed on the exterior of the building. We identified a hole in the foundation wall adjacent to what appeared to be a cleanout drain on the exterior of the building. We suspect that the plumbing penetrates the foundation wall and was either not grouted solid or the repair material has deteriorated significantly over time. The foundation wall should be repaired to mitigate water infiltration and progressive deterioration of the masonry.

4.2.4 Senior's Club Addition

Similar to the remainder of the building, we suspect that the floor in this addition appears to be a concrete slab-on-grade. Aside from a noticeable bump in the floor near the east end of the main room (believed to be where this addition met the Community Hall Addition), we did not identify any obvious reasons for concern below the carpet flooring.

The foundation wall on the east side of the addition was confirmed to be of concrete masonry. Mortar at the exposed head-joints between masonry units adjacent to the ramp is cracked at several locations. We did not observe any

obvious signs of cracking in the brick veneer above, suggesting that the cracks are not related to settlement in the foundations and may therefore be due to frequent freeze-thaw cycles during the winter and shoulder seasons. We recommend repairing the cracks to mitigate water infiltration and progressive deterioration of the foundation wall.

5. RECOMMENDATIONS

Where noted, recommended timeframes for further investigation/remediation are provided. Timeframes provided are not to be construed as the definitive remaining lifespan of a particular system, but rather to help identify the urgency of a particular recommendation.

5.1 Immediate

5.1.1 Reinforce opening to Loft

The Loft access that was cut through the wood plank decking in the Municipal Office has left several boards unsupported at the ends and potentially unable to safely resist the minimum live loads prescribed in the Ontario Building Code. We anticipate that new wood framing, designed by a Professional Engineer, will be required around the opening that extends to the adjacent glue-laminated wood beams.

5.1.2 Review crack over Mechanical Room door

The masonry above the door to the Mechanical Room in the Municipal Office is cracked in a manner suggesting that either a lintel was not installed to support the masonry, or the lintel is inadequate. Further review is recommended by a Professional Engineer with the expectation that a new structural steel lintel will be required.

5.2 Short-Term (within 0 to 2 years)

5.2.1 Evaluate ledger board in Electrical Room

A Professional Engineer should be retained to review and analyse the adequacy of the wood ledger beam that supports the roof framing with the expectation that remedial structural supports will be required.

5.2.2 Repair Gymnasium ceiling

The cracks identified in the Gymnasium ceiling should be repaired and monitored to help determine if they are the result of shrinkage in the gypsum shortly after construction, or due to excessive deflections due to load. Based on the extent of the cracking, we suspect it is a shrinkage issue. All remedial work should be completed by an experienced and suitably qualified Contractor.

5.3 Long-Term (within 2 to 5 years)

5.3.1 Brick cladding review and repairs (within 5 years)

The projection of the brick cladding beyond the foundation wall support exceeds the maximum permitted in CSA A371 Masonry Construction for Buildings (the lesser of 30 mm or 1/3 the width of the brick) at several locations. Further review by a Professional Engineer is recommended to determine the extent of the non-compliant brick cladding and to develop appropriate remedial strategies that may include providing positive support below the brick

with new steel shelf angles, adding cement parging to the foundation wall, and/or reinforcing the brick with helical anchors (if appropriate).

Relatively minor brick repairs are recommended to address damaged brick units and missing mortar joints identified at some lintel bearing locations. All remedial work should be completed by an experienced and suitably qualified Contractor.

5.3.2 Foundation repairs (within 5 years)

The cracks noted at the top of the foundation walls should be repaired to mitigate progressive deterioration due to water infiltration and subsequent freeze-thaw cycling. Aside from the crack identified in the northeast corner of the Community Hall Addition and the hole in the foundation wall of the Electrical Room, most foundation repairs should involve repointing the mortar, and possibly replacing or grouting of any damaged masonry units. Injection grouting with embedded anchors may be warranted at the Gymnasium, as determined by a Professional Engineer. All remedial work should be completed by an experienced and suitably qualified Contractor.

All repairs should be reviewed periodically for signs of recurrence, which could be indicators of underlying structural issues.

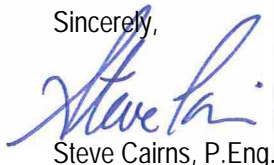
5.3.3 Repair Kitchen ceiling (within 5 years)

Sections of the ceiling that were damaged from previous water exposure should be repaired to help identify any future leaks. All remedial work should be completed by an experienced and suitably qualified Contractor

During the repairs, it would be prudent to have a Professional Engineer review the condition of the framing above as it was exposed to moisture for an unknown length of time in a concealed condition.

We trust that the enclosed information is adequate for your current needs. Please do not hesitate to contact us with any further questions or comments

Sincerely,



Steve Cairns, P.Eng.

A2S Consulting Engineers



- Attachments:
- Appendix A – Limitations (2 pages)
 - Appendix B – Floor Plans (1 page)
 - Appendix C – Photos (13 pages)

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APPENDIX A - LIMITATIONS

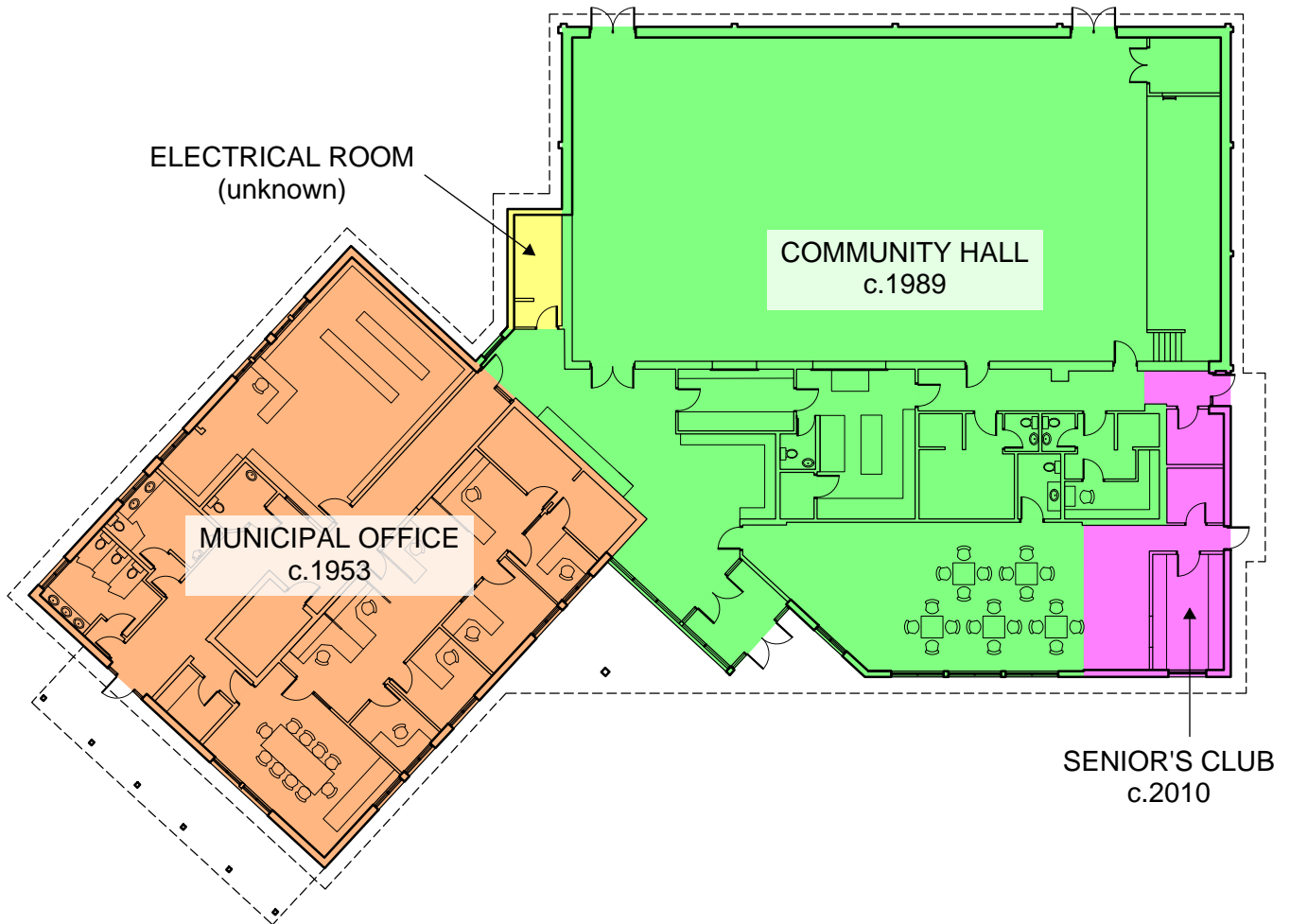
"Consultant" in the following document refers to A2S Consulting Engineers.

- The scope of our work and related responsibilities related to our work are defined in our proposal and Conditions of Assignment.
- Any user accepts that decisions made or actions taken based upon interpretation of our work are the responsibility of only the parties directly involved in the decisions or actions.
- No party other than the Client shall rely on the Consultant's work without the express written consent of the Consultant, and then only to the extent of the specific terms in that consent. Any use which a third party makes of this work, or any reliance on or decisions made based on it, are the responsibility of such third parties. Any third-party user of this report specifically denies any right to any claims, whether in contract, tort and/or any other cause of action in law, against the Consultant (including sub-consultants, their officers, agents and employees). The work reflects the Consultant's best judgement in light of the information reviewed by them at the time of preparation. It is not a certification of compliance with past or present regulations. Unless otherwise agreed in writing by the Consultant, it shall not be used to express or imply warranty as to the fitness of the property for a particular purpose. No portion of this report may be used as a separate entity; it is written to be read in its entirety.
- Only the specific information identified has been reviewed. No physical or destructive testing and no design calculations have been performed unless specifically recorded. Conditions existing but not recorded were not apparent given the level of study undertaken. Conditions may differ from those observed, which were relied upon to develop our recommendations. Only conditions actually seen during examination of representative samples can be said to have been appraised and comments on the balance of the conditions are assumptions based upon extrapolation. Therefore, this work does not eliminate uncertainty regarding the potential for existing or future costs, hazards or losses in connection with a property. We can perform further investigation on items of concern if so required.
- The Consultant is not responsible for, or obligated to identify, mistakes or insufficiencies in the information obtained from the various sources, or to verify the accuracy of the information.
- No statements by the Consultant are given as or shall be interpreted as opinions for legal, environmental or health findings. The Consultant is not investigating or providing advice about pollutants, contaminants or hazardous materials.
- The Client and other users of this report expressly deny any right to any claim against the Consultant, including claims arising from personal injury related to pollutants, contaminants or hazardous materials, including but not limited to asbestos, mould, mildew or other fungus.
- Applicable codes and design standards may have undergone revision since the subject property was designed and constructed. As an example, design loads (such as those for temperature, snow, wind, rain, seismic, etc.) and the specific methods of calculating the capacity of the systems to resist these loads may have changed significantly. Unless specifically included in our scope, no calculations or evaluations have been completed to verify compliance with current building codes and design standards.
- Timeframes given for undertaking work represent our opinion of when to budget for the work. Failure of the item, or the optimum repair/replacement process, may vary from our estimate. This opinion is therefore given as a reasonable average approximation rather than a specific prediction.
- Qualified design professionals are required to perform additional evaluation (as necessary), design and general review during construction when carrying out the recommendations included in this report. Ongoing

monitoring is required to confirm that repair or renewal measures are successful and to identify for changing conditions that would require increased levels of intervention or different repair / renewal strategies.

- Qualified contractors are required to implement any recommendations included in this report.
- Failure to implement the recommendations included in this report and/or failure to maintain building components appropriately could lead to ongoing and accelerated deterioration that may lead to unsafe conditions developing.

APPENDIX B – FLOOR PLANS



APPENDIX C - PHOTOS



Figure 1: South elevation.



Figure 2: Northwest corner.



Figure 3: Municipal Office: Typical flat roof framing.



Figure 4: Municipal Office: Loft above the original flat roof framing.



Figure 5: Municipal Office: Unsupported wood plank decking at Loft opening.

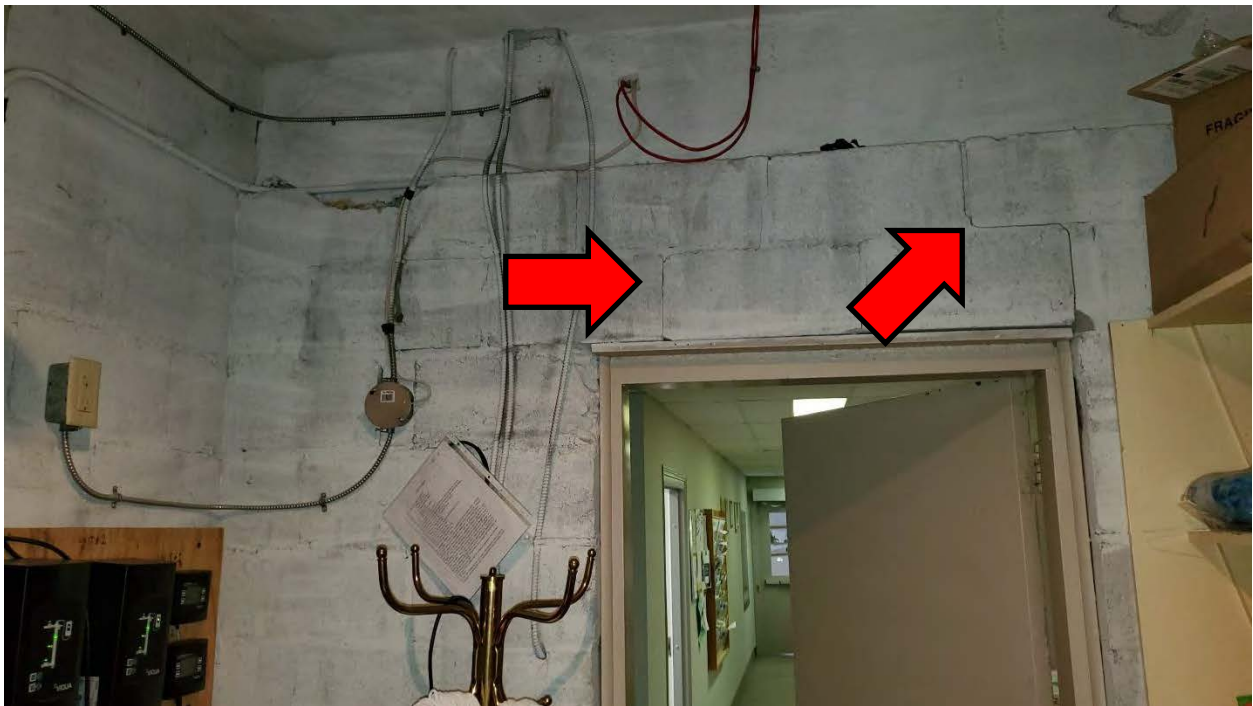


Figure 6: Municipal Office: Cracks in masonry over Mechanical Room door.



Figure 7: Municipal Office: Loose brick at lintel bearing on west elevation.



Figure 8: Municipal Office: Southwest corner. Crack in foundation wall.



Figure 9: Municipal Office: Deteriorated mortar on the west elevation.



Figure 10: Municipal Office: Excessive brick projection beyond the foundation wall on the west elevation.



Figure 11: Community Hall Addition (Gymnasium): Looking west.



Figure 12: Community Hall Addition: Typical roof framing over Gymnasium.



Figure 13: Community Hall Addition: Typical roof framing over Gymnasium.



Figure 14: Community Hall Addition: Ceiling crack over Gymnasium.



Figure 15: Community Hall Addition: Location of previous roof leakage in the Kitchen.



Figure 16: Community Hall Addition: Foundation crack at the northeast corner.



Figure 17: Community Hall Addition: Excessive brick projection beyond the foundation wall on the east elevation.



Figure 18: Community Hall Addition: Excessive brick projection beyond the foundation wall on the west elevation.



Figure 19: Electrical Room Addition: Wood ledger board bolted to brick cladding in the Electrical Room.



Figure 20: Electrical Room Addition: Wall framing above the ceiling in the Electrical Room.



Figure 21: Electrical Room Addition: Hole in the foundation wall on the west elevation of the Electrical Room.



Figure 22: Community Hall Addition and Senior's Club Addition: Looking east.



Figure 23: Community Hall Addition: Mechanical unit suspended from roof framing.



Figure 24: Community Hall Addition: Cracked bricks at lintel bearing.



Figure 25: Community Hall Addition: Cracked mortar joints in the foundation wall on the east elevation.

MECHANICAL AND ELECTRICAL BUILDING CONDITION ASSESSMENT REPORT



TOWN OF KEARNEY MUNICIPAL BUILDING

**Mechanical and Electrical
Condition Assessment Report**

Date: July 29, 2020

**Prepared by:
Jain Sustainability Consultants Inc.
7405 East Danbro Crescent
Mississauga, ON, L5N**

INTRODUCTION

Jain Sustainability Consultants carried out a site visit to Kearney Community Centre on June 25th, 2020 to review the mechanical systems in this building. The objective was to look at the general condition of the mechanical systems.

Jain reviewed mechanical H.V.A.C, Plumbing and Fire-Protection systems for the entire building.

EXISTING MECHANICAL SYSTEM

COMMUNITY CENTRE

H.V.A.C.

An electric furnace in the Attic Space provides heating and cooling for the Community Centre. Condensing unit is located on grade outside. There is no fresh air connection to the furnace which is required by Code. The thermostat is located in the corridor rather than in the Gym.



PHOTO OF ENCLOSED ATTIC FURANCE ABOVE GYMNASIUM

There is supply and return air to the existing Gym but there is no supply in the Storage Rooms, Washrooms and Kitchen etc.

There are some exhaust fans in the washrooms, previous Girls and Boys Change Room.

There is a hood for the kitchen for the Community Centre with suppression system but hood does not appear to be NFPA Compliant. Further checking would be required. There is also no make-up air for the hood exhaust. In Commercial Kitchens fresh air is required to make up for the exhaust.



PHOTO OF EXHAUST HOOD (SENIOR'S CLUB KITCHEN)

There is an electric force flow heater at the entrance to the Community Centre. It is far away from the entrance glazing which can cause frost and condensation during winter.

PLUMBING

There is a domestic hot water propane-fired heater in good condition.



PHOTO OF DOMESTIC HOT WATER HEATER (IN THE COMMUNITY CENTRE)

Plumbing fixtures are old. Toilets had some stains.



PHOTO OF PLUMBING FIXTURES (WASHROOM ACROSS THE GYM)

FIRE PROTECTION

There is no sprinkler or stand-pipe system in this building but there are fire extinguishers.

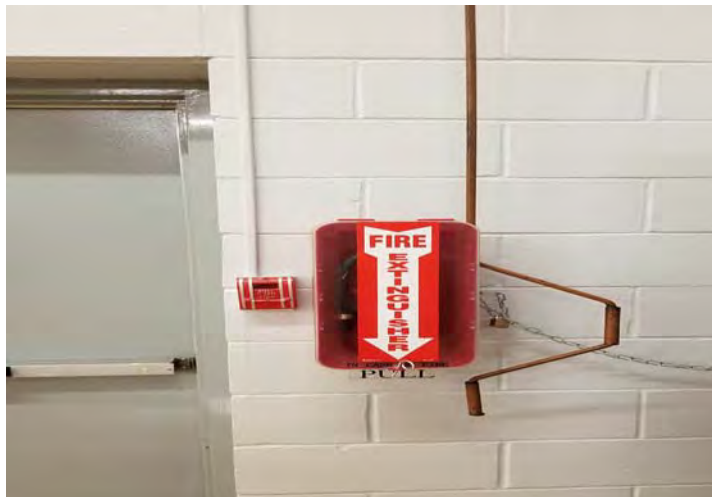


PHOTO OF FIRE EXTINGUISHER (IN THE GYM)

SENIOR'S CLUB

H.V.A.C.

A fan coil unit in the ceiling space with electric coil provides heating and cooling for this room. Condensing unit is located outside on grade. There is no fresh air connection to the fan coil which is required by Code.



PHOTO OF FAN COIL



PHOTO OF CONDENSING UNIT (SERVING SENIOR'S CLUB AND OFFICE)

There is an exhaust fan in the ceiling of the Seniors Club. It is not functional.



PHOTO OF EXHAUST FAN (IN CEILING OF SENIOR'S CLUB)

There is an exhaust fan in the washroom. There is a hood for the kitchen for the for the Seniors Lounge with suppression system but hood does not appear to be NFPA Compliant. It needs further checking. In Commercial Kitchens, fresh air is required to make up for the exhaust.

There is also no make-up air for the hood exhaust.



PHOTO OF EXHAUST HOOD (IN THE SENIOR'S CLUB KITCHEN)

PLUMBING

Hot water to the washroom and kitchen for the Senior's Club is provided by the propane-fired hot water heater in the Community Centre.

Plumbing fixtures are in reasonable condition.

FIRE-PROTECTION

There is no sprinkler or stand-pipe system but there are fire extinguishers throughout.

MUNICIPAL OFFICES AND LIBRARY

H.V.A.C.

A gas-fired furnace in the Attic Space provides heating and cooling for the Offices and the Library. A condensing unit is located outside on grade. There is no fresh air connection to the furnace which is required by Code.



PHOTO OF FURNACE (IN THE ATTIC SPACE OF OFFICE CORRIDOR)

There is no natural gas available. Two propane tanks are located on the property.



PHOTO OF PROPANE TANK

There is air supply and return to all the Offices and the Library. The ceiling has been used as a return air plenum. The thermostat is located in the Office space. The Office area was comfortable but the Library and the corridor were colder at the time of our visit.

There are exhaust fans for the washrooms.

There is a Slop Sink in the Electrical Room but there is no exhaust. Exhaust is required by Code for Slop Sink.

There are force flow heaters in the Main Vestibule to the Building and in the Main Lobby but there is no air supply in the Lobby.

PLUMBING

There are no sewers or water on the street. There is a well and septic bed on the property. There is ultra violet light and filters on the incoming well water. They appeared to be in good condition.

There is a propane-fired hot water heater. It is in reasonably good condition.



PICTURE OF HOT WATER HEATER

Plumbing fixtures were replaced in the last few years and they are in very good condition.



PICTURE OF WASHROOM FIXTURES

FIRE-PROTECTION

There is no sprinkler or stand-pipe system but there are fire extinguishers throughout.

OBSERVATION

1. Community Centre

- a) Furnace is very old and is not suitable for the Gym. There is no fresh air also which is against the Code. A new H.V.A.C. unit with fresh air is required to be provided soon.
- b) There is no fresh air in the other rooms also in the Community Centre. A supply air needs to be provided by a separate unit in these rooms to meet the Code.
- c) Kitchen hood needs to be replaced with NFPA approved hood and a make-up air unit also is required.
- d) Washroom fixtures are very old and should be replaced.

2. Senior's Club

- a) The fan coil is only 8 years old. This type of unit has a life of 20 to 25 years. Fresh air should be added to the fan coil to meet the Code requirement.
- b) Kitchen hood needs to be replaced with NFPA approved hood and a make-up air unit also is required.
- c) Plumbing fixtures are in reasonable condition and therefore do not require immediate replacement.

3. Municipal Offices and Library

- a) The furnace is only eight years old. It has a life of approximately 15 years and therefore will require replacement in 5 to 10 years but fresh air should be added to meet the Code requirement.
- b) Washroom fixtures are in good condition and do not require replacement.
- c) Exhaust should be provided from the Electrical Room with the Slop Sink.

ELECTRICAL

INTRODUCTION

Jain Sustainability Consultants carried out a site visit to Kearney Community Centre on June 25th, 2020 to review electrical systems in this building. The objective was to look at the general condition of the electrical systems.

Jain reviewed lighting, power distribution, fire alarm and low voltage systems based on visual assessment only. All areas of the building were reviewed,

ELECTRICAL SYSTEMS

POWER DISTRIBUTION SYSTEM

The existing main electrical incoming service consists of underground secondary ducts and feeders which are terminated at the existing 600Amp main fused disconnect switch located in the main electrical room.

The existing main service is rated 600Amp at 120/208V, three phase, 4 wires and includes 600Amp main fused disconnect switch, utility metering cabinet and 600Amp main power distribution panel. The main distribution panel is feeding sub-electrical panels throughout the building and some other mechanical equipment such as air conditioning units and other loads as well. The main power distribution panel is out-dated but in fair condition.



EXISTING MAIN POWER DISTRIBUTION SYSTEM AT THE MAIN ELECTRICAL ROOM

POWER BACKUP GENERATOR

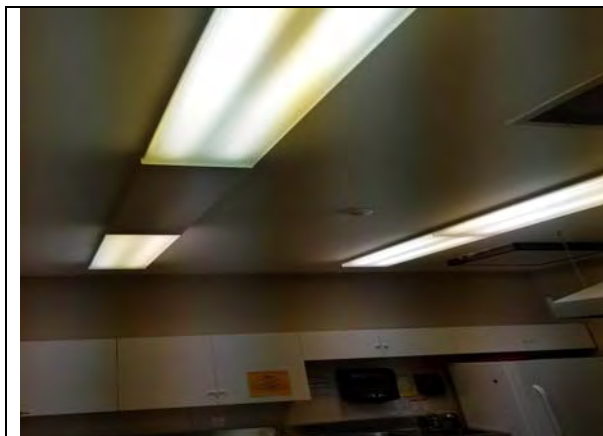
The building has an outdoor power backup generator located on concrete pad on grade and near the electrical room. The generator is connected to an outdoor wall mounted automatic transfer switch located on the exterior wall of the electrical room. The generator provides power backup for the entire building in case of hydro power failure through the automatic transfer switch.



EXISTING OUTDOOR GENERATOR AND AUTOMATIC TRANSFER SWITCH

LIGHTING SYSTEM

The existing lighting in the building consists of fluorescent lighting throughout the building and some incandescent fixtures. Lighting control consists of on/off light switches located within the respective rooms/areas.



Existing fluorescent light fixture at the kitchen



Existing incandescent light fixture at the Gym

EMERGENCY LIGHTING SYSTEM

The existing emergency lighting system consists of exit lights, emergency lighting remote heads and battery units. The majority of the emergency light fixtures and battery units appear to be out-dated.



EXISTING EMERGENCY LIGHTING

EXTERIOR LIGHTING

Existing exterior lighting consists of surface mount light fixtures with motion detectors.



EXISTING EXTERIOR LIGHT FIXTURE WITH MOTION DETECTOR

FIRE ALARM SYSTEM

The existing main fire alarm system is by Mircom which consists of the main fire alarm control panel located at the main entrance of the building, fire alarm detectors, fire alarm bells and fire alarm manual pull stations. The existing fire alarm system appears to be in good condition.

The fire alarm detectors are typically located at utility rooms, under the stage, library, lobby, corridor for the office area, etc.

The existing manual fire alarm pull stations are located at the exits of the building.



EXISTING MAIN FIRE ALARM CONTROL PANEL



EXISTING FIRE ALARM SIGNALING DEVICE

OTHERS

Security Intrusion alarm system consists of motion detectors and doors contacts installed throughout the building which appears to be in fair condition. The existing main control panel of the security system is located at the main electrical room.

Telephone system of the building consists of Private Branch Exchange (PBX) and bix blocks located in the main electrical room, also the main IT cabinet is located at the same room



EXISTING INTRUSION ALARM CONTROL PANEL, TELEPHONE SWITCH AND IT CABINET LOCATED AT THE MAIN ELECTRICAL ROOM

The building is equipped with CCTV system, the front-end equipment is located at the file room within the office area. There are interior and exterior cameras distributed within the office area and around the exterior of the building.



EXISTING CCTV SYSTEM AT THE FILE ROOM WITHIN THE OFFICE AREA

Local sound systems are provided in the Gym area and the senior game room with wall mounted speakers installed within the respective areas. The gym includes a portable local sound system rack.



EXISTING LOCAL SOUND SYSTEM RACK AT THE STAGE OF THE GYM



EXISTING LOCAL SOUND SYSTEM AT THE SENIOR GAME ROOM

OBSERVATION

1. Exit and emergency lights are out-dated. The layout of the existing emergency lighting system does not comply with the current code requirements where additional fixtures shall be added in the library, municipal office, common washrooms, etc. for proper coverage. We recommend to replace the existing out-dated exit lights with new energy efficient LED type, pictogram 'running man' exit lights to meet the current requirements of MNECB and OBC.
2. Some existing free-air communication cables are located within air plenum ceiling spaces while the cables are not rating for the application, this is a code violation.
3. Some light fixtures in the corridor of the office area are classified for surface/pendent applications while being installed above the acoustic tile ceiling with separate lay in lens, we recommend to replace these fixtures with recessed type light fixtures to suit application.
4. Some troffer fluorescent light fixtures have discolored and/or broken lenses which shall be replaced with ones
5. There are two fire suppression systems (one in each kitchen) in the building, these systems shall be connected to the fire alarm system as per code but apparently, they are not connected to the fire alarm system.
6. The building does not include fire alarm strobe lights which shall be provided in the common areas to meet present code requirements.
7. Fire alarm graphic is not provided which typically shall be provided adjacent to the fire alarm control panel at the main entrance.

END

APPENDIX A

DESIGNATED SUBSTANCES SURVEY



The Corporation of the Town of Kearney
8 Main Street
Kearney, Ontario

DESIGNATED SUBSTANCES SURVEY

July 17, 2020

Kearney Community Centre
8 Main Street, Kearney, Ontario

P-0022663-0-00-200-01

DRAFT VERSION



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Summary

Englobe Corp. was retained by The Corporation of the Town of Kearney to complete a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The study was carried out in accordance with the intent of our Proposal No. 2020-P152-091 and included the Designated Substances as defined under the *Occupational Health and Safety Act*. The purpose of the study was to determine the absence or presence of designated substances which may require special handling and/or disposal prior to or during demolition, renovations and/or equipment removal operations as required under the OHSA. The results of the study can be used as the basis for the development of management plans and quantification surveys if necessary.

The results of Englobe's survey indicate the following:

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Acrylonitrile	Possibly present in stable form in some manufactured products.	None.
Arsenic	Possibly present in stable form in paints and/or adhesives.	None.
Asbestos	Asbestos was detected at concentrations of 0.5% or greater, in two (2) the suspect materials sampled by Englobe Corp: 1. <u>Vinyl Tile</u> – 4.0% Chrysotile 2. <u>Caulking</u> – 0.5-1.0% Chrysotile	The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations. Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing materials unless tested and proven otherwise.
Benzene	Possibly present in stable form in paints and/or adhesives.	None.
Coke Oven Emissions	Not identified in subject area of survey.	None.
Ethylene Oxide	Not identified in subject area of survey.	None.
Isocyanates	Not identified in subject area of survey.	None.
Lead	A total of nine (9) paint samples were obtained from throughout areas of the survey. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows: ▶ Paints or surface coatings containing less than or equal to 0.1% lead by	The level of lead detected in the paint or surface coatings will dictate how they are to be treated, as defined in the EACO Lead Guideline, dependent upon the aggressiveness of disturbance of the material (i.e. the potential for dust production). Painted surfaces in this structure should therefore be treated as containing lead

SUBSTANCE	COMMENTS	RECOMMENDATIONS
	<p>weight (1000 ppm) are considered low-level lead paints or surface coatings.</p> <ul style="list-style-type: none"> ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings. ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings. <p>Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.</p> <p>Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.</p>	<p>unless the specific surface has been tested and shown to be otherwise. Any work (renovation, demolition, etc.) involving lead containing coatings or other materials containing lead must be done so in a manner that minimizes fine dust production or fumes. The concentration of lead in air should not exceed the occupational exposure limits (OELs) for lead. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average. Renovation/demolition work may disturb lead containing coatings. The publication <i>Lead on Construction Projects</i>, September 2004, produced by the Ministry of Labour can be used as a guideline. Demolition debris that is coated with lead coatings must be disposed of in a registered waste facility licensed to accept the debris. Recycling of materials with lead coatings may require the removal of the coating prior to reuse.</p>
Mercury	<p>Mercury is present in some thermostats. One (1) mercury containing thermostat and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during this investigation. Mercury vapour is likely present in fluorescent lights observed in the building.</p> <p>Mercury may be present in paints and/or adhesives in stable form.</p>	<p>Mercury or mercury vapour does not pose a risk to building occupants or workers provided that the container remains intact. Complete removal of mercury containing equipment should be carried out prior to renovations or demolition by trained individuals.</p> <p>The publication “A Guide to the Mercury Regulation” produced by the Ministry of Labour can be used as a guideline.</p>
Silica	<p>Silica is likely present in brick, concrete, cement, mortar, grout, and/or ceramic tiles.</p>	<p>Any work involving silica containing materials must be done so in a manner that minimizes fine dust production. Workers carrying out demolition or renovation operations where airborne silica levels are expected to exceed 0.05 mg/m³ should be protected through the use of respirators, misting, and a worker wash station.</p> <p>The Ministry of Labour Guideline: <i>Silica on Construction Projects</i> can be referred to in the development of a management plan.</p>

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Vinyl Chloride	Vinyl Chloride was not present in pure chemical form. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.	None.

Please see Section 5.0: Limitations of the Survey.

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Table of Contents

1	INTRODUCTION	1
2	SCOPE OF WORK.....	1
2.1	QA/QC Procedures.....	2
3	RESULTS OF THE DESIGNATED SUBSTANCES SURVEY	3
3.1	Acrylonitrile.....	3
3.1.1	Acrylonitrile Background Information	3
3.1.2	Acrylonitrile Survey	3
3.2	Arsenic	3
3.2.1	Arsenic Background Information.....	3
3.2.2	Arsenic Survey	4
3.3	Asbestos.....	4
3.3.1	Asbestos Background Information	4
3.3.2	Asbestos Survey	6
3.4	Benzene	8
3.4.1	Benzene Background Information.....	8
3.4.2	Benzene Survey.....	8
3.5	Coke Oven Emission	8
3.5.1	Coke Oven Emission Background Information	8
3.5.2	Coke Oven Survey	8
3.6	Ethylene Oxide Emission	8
3.6.1	Ethylene Oxide Background Information	8
3.6.2	Ethylene Oxide Survey.....	9
3.7	Isocyanates	9
3.7.1	Isocyanates Background Information.....	9
3.7.2	Isocyanates Survey.....	9
3.8	Lead	9
3.8.1	Lead Background Information	9
3.8.2	Lead Survey	10
3.9	Mercury	11
3.9.1	Mercury Background Information.....	11
3.9.2	Mercury Survey	12
3.10	Silica.....	13
3.10.1	Silica Background Information	13
3.10.2	Silica Survey	13
3.11	Vinyl Chloride	14
3.11.1	Vinyl Chloride Background Information.....	14
3.11.2	Vinyl Chloride Survey.....	14
4	CONCLUSIONS	15

5 LIMITATIONS OF SURVEY 18

Appendices

- Appendix 1 Drawings
- Appendix 2 Room Survey and Sample Results
- Appendix 3 Analytical Results: Asbestos and Lead

1 Introduction

At the request of the Client, The Corporation of the Town of Kearney (hereafter referred to as the “Client”), Englobe Corp. (Englobe) has carried out a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street in Kearney, Ontario (see Figure Nos. 1a and 1b: Key Plan, Appendix 1). For the purpose of this report, Main Street is considered to be oriented in an east-west direction in the area of the building.

2 Scope of Work

The study included the Designated Substances as defined under the Occupational Health and Safety Act. The purpose of the study was to determine the absence or presence of designated substances or select hazardous materials that may require special handling and/or disposal prior to or during renovation/demolition operations as required under the OHSA.

The Occupational Health and Safety Act and Regulations (R.S.O. 1990) states under Section 30:

- (1) Before beginning a project, the Owner shall determine whether any designated substances are present at the project site and shall prepare a list of all designated substances that are present at the site.
- (2) If any work on a project is tendered, the person issuing the tenders shall include, as part of the tendering information, a copy of the list referred to in subsection (1).

The eleven (11) designated substances are:

DESIGNATED SUBSTANCES		APPLICABLE REGULATION
1	Acrylonitrile	O. Reg. 490/09
2	Arsenic	O. Reg. 490/09
3	Asbestos Asbestos (on Construction Projects and in Buildings and Repair Operations)	O. Reg. 490/09 O. Reg. 278/05
4	Benzene	O. Reg. 490/09
5	Coke Oven Emissions	O. Reg. 490/09
6	Ethylene Oxide	O. Reg. 490/09
7	Isocyanates	O. Reg. 490/09
8	Lead	O. Reg. 490/09
9	Mercury	O. Reg. 490/09
10	Silica	O. Reg. 490/09
11	Vinyl Chloride	O. Reg. 490/09

The buildings were inspected for the presence of suspect materials that may contain designated substances on June 25, 2020. The most common designated substances present in building materials include: asbestos, mercury, silica, and lead. Where applicable, samples of suspect building materials that may contain designated substances were taken and sent to an accredited analytical laboratory to be analyzed. A list of materials that may contain the remaining designated substances was compiled, however, no specific analytical testing was carried out.

It is understood that the Client requires that the building material be investigated down to the framing of the structure, and as such, invasive methods to identify potential suspect materials were used. Materials that serve as fixtures to a building and which can be easily removed prior to upgrades or demolition were not sampled (i.e. doors, cupboards). Please note that, while effort was made to carry out a thorough investigation, there is no guarantee that all hidden potential suspect materials were discovered. Notably, a large portion of the roof on the Kearney Community Centre was inaccessible at the time of the survey and was not fully investigated. However, the more accessible roof sections were investigated and sampled for suspect material. The adhesive or thin-set below ceramic tiles encountered within the building including the washrooms areas were not inspected as this would have damaged these areas and jeopardized the integrity of the material. In the majority of sampling procedures, it is unavoidable to obtain a sample without also sampling the substrate the sample is adhered to. Samples followed with an asterisks (*) indicate substrate interference as noted by the laboratory.

The results of the study can be used as the basis for the development of management plans.

O. Reg. 278/05, s. 8 (5) requires that this record be updated at least once every 12 months and whenever the owner becomes aware of new information relating to the matters this record deals with.

Please see Section 5.0: Limitations of the Survey.

2.1 QA/QC Procedures

This project was carried out with strict adherence to Englobe Corp.'s quality assurance/quality control policies and procedures. All project documentation was maintained and controlled with a unique project identifier number logged in the Englobe Corp. job database.

All fieldwork (equipment decontamination, sampling, use of safety equipment etc.) was carried out according to standard industry recognized environmental methods.

International Asbestos Testing Laboratories (IATL) carried out the Asbestos and Lead sample testing for this project. IATL has received laboratory accreditation by the National Voluntary Laboratory Accreditation Program (NVLAP), American Industrial Hygiene Association (AIHA), and dozens of state health and environmental agencies. IATL is located at 9000 Commerce Parkway, Suite B in Mt. Laurel, New Jersey.

3 Results of the Designated Substances Survey

3.1 Acrylonitrile

3.1.1 Acrylonitrile Background Information

Acrylonitrile is prescribed as a Designated Substance (R.S.O. 2009, Reg. 490/09). Acrylonitrile, which does not occur in nature, is a man-made chemical that exists in liquid form. The chemical is colorless with a sharp onion- or garlic-like odor and it can be dissolved in water and evaporates quickly. Acrylonitrile is used in the manufacture of acrylic fabrics and carpets. The chemical is also used extensively in the manufacture of synthetic fibers, paints, resins, plastics, elastomers, and rubber for a variety of consumer goods such as textiles, dinnerware, food containers, toys, luggage, automotive parts, small appliances, and telephones. It is also used in fumigants. Acrylonitrile is present in cigarette smoke as well as car exhaust. In the past, a mixture of acrylonitrile and carbon tetrachloride was used as a pesticide however; all known pesticide uses have stopped. Acrylonitrile is a central nervous system depressant and a respiratory, eye and skin irritant, and the effect of exposure can take days to appear. Some symptoms of exposure include headache, dizziness, nausea, muscle weakness, and convulsions amongst others. Exposure to the chemical can occur through breathing contaminated air, absorption through the skin, or by ingestion. Exposure to acrylonitrile is unlikely unless the individual works in or lives near industries where it is manufactured or used, or near a hazardous waste site that contains the chemical.

3.1.2 Acrylonitrile Survey

Acrylonitrile is used as an intermediate in the manufacture of a wide range of consumer products but undergoes chemical reaction to different substances during the manufacturing process. The presence of the chemical Acrylonitrile is not suspected in the area surveyed.

3.2 Arsenic

3.2.1 Arsenic Background Information

Arsenic is prescribed as a Designated Substance (R.S.O. 1990, Reg. 490/09). Arsenic is a natural element that commonly occurs in the earth's crust. There are trace amounts of arsenic in all living matter. The presence of arsenic in water bodies may be a natural occurrence resulting from the breakdown of mineral or rock that naturally contains arsenic. Alternatively, arsenic may enter the natural environment through the discharge of industrial wastes and by the deposit of arsenic particles in dust, or dissolved in rain or snow. Arsenic particles are produced from the burning of fossil fuels, metal production, agricultural use (i.e. pesticides or feed additives), waste burning, cigarette smoke, or cutting, sanding or burning arsenic containing products (i.e. preserved woods). In the past, Arsenic was a component of some paints. Exposure to arsenic can result through inhalation, ingestion, and/or absorption. Arsenic is a carcinogen. Breathing high levels of inorganic arsenic can give you a sore

throat or irritated lungs. Ingesting very high levels of arsenic can result in death. Exposure to lower levels can cause nausea and vomiting, decreased production of red and white blood cells, abnormal heart rhythm, damage to blood vessels, and a sensation of “pins and needles” in hands and feet. Skin contact with inorganic arsenic may cause redness and swelling. Little is known regarding health effects of organic arsenic compounds in humans.

3.2.2 Arsenic Survey

There were no apparent sources of Arsenic present in the area surveyed. Arsenic may be present in some paints or adhesives in a permanently bonded stable form.

3.3 Asbestos

3.3.1 Asbestos Background Information

Asbestos is the general name for a family of naturally occurring silicate minerals which include chrysotile, amosite, crocidolite, and tremolite amongst others. During the period between the 1950's and mid 1970's asbestos was commonly used in building materials because of its relatively incombustible and thermal properties, resistance to fungal growth and corrosion, and its tensile strength and flexibility. Asbestos can be found in textiles, insulating material (i.e. pipe wrappings, electrical, etc.), vinyl and asphalt floor tiles, vinyl sheet backings, acoustical ceiling tiles, decorative/textured plasters, asbestos-cement products, roof coatings, and caulking compounds amongst other materials. Below is a select list of some suspect asbestos containing materials produced by the US EPA.

LIMITED LIST OF SELECT SUSPECT ASBESTOS CONTAINING MATERIALS	
Cement Pipes	Elevator Brake Shoes
Cement Wallboard	HVAC Duct Insulation
Cement Siding	Boiler Insulation
Asphalt Floor Tile	Joint Compounds
Vinyl Floor Tile	Ductwork Flexible Fabric Connections
Vinyl Sheet Flooring	Cooling Towers
Flooring Backing	Pipe Insulation (corrugated air-cell, block, etc.)
Construction Mastics (floor tile, carpet, ceiling tile, etc.)	Heating and Electrical Ducts
Acoustical Plaster	Electrical Panel Partitions
Decorative Plaster	Electrical Cloth
Textured Paints/Coatings	Electric Wiring Insulation
Ceiling Tiles and Lay-in Panels	Chalkboards
Spray-Applied Insulation	Roofing Shingles
Blown-in Insulation	Roofing Felt
Fireproofing Materials	Base Flashing
Taping Compounds (thermal)	Thermal Paper Products
Packing Materials (for wall/floor penetrations)	Fire Doors

LIMITED LIST OF SELECT SUSPECT ASBESTOS CONTAINING MATERIALS

High Temperature Gaskets	Caulking/Putties
Laboratory Hoods/Table Tops	Adhesives
Vinyl Wall Coverings	Wallboard
Elevator Equipment Panels	Spackling Compounds

Note: The list does not include every product/material that may contain asbestos. It is intended as a general guide to show which types of materials may contain asbestos.

In the 1970's, the adverse effects of airborne asbestos fibres were becoming apparent and Canadian insulation manufacturers voluntarily stopped producing friable asbestos-based insulations. In 1984, a "safe-use" approach to asbestos was recommended involving strict controls over mining, milling, manufacturing, transportation, handling, and disposal activities. A federal-provincial working group on studying asbestos adopted this approach and developed a "Current Approach to the Regulation of Asbestos in Canada". This was expanded in 1996 when the Government of Canada adopted the safe-use principle in its Minerals and Metals Policy. Low-density and friable products containing asbestos are no longer marketed in Canada and are prohibited under the Hazardous Products Act.

Asbestos is a designated substance (O. Reg. 490/09 and O. Reg. 278/05). Asbestos Containing Materials (ACMs) are described as those that contain 0.5% asbestos or more by dry weight. ACMs are further defined by their "friability" or the ease of which the material can be ground or pulverized. As indicated in O. Reg. 278/05 Designated Substance — asbestos on construction projects and in buildings and repair operations, "friable material" means material that,

- a) when dry, can be crumbled, pulverized or powdered by hand pressure, or
- b) is crumbled, pulverized or powdered.

ACMs do not create a hazard if they are lying dormant and undisturbed or if they are encased in a non-friable material. However, if during renovations and/or demolition activities, or if the material deteriorates and becomes friable, asbestos fibers may become airborne thus causing a number of health related concerns.

The number of analytical tests required for asbestos testing in accordance with Ontario Regulations is fully dependent upon the quantity and type of materials present. The bulk sampling requirements of the Ontario Asbestos Regulation (O. Reg. 278/05) requires that of each suspect asbestos containing material identified, a minimum number of samples be taken dependent upon type of material and estimated quantity. For example, for "surfacing material", including without limitation material that is applied to surfaces by spraying, by troweling or otherwise, such as acoustical plaster on ceilings and fireproofing materials on structural members" of an area less than 90 m², a minimum of 3 samples must be taken. More samples must be taken for progressively larger areas. For other materials, such as floor tiles or acoustical ceiling tiles, a minimum of 3 samples must be taken per material. In addition, some materials may have several different substrates (i.e. floor tiles may have a mastic, etc.) which must be tested separately and constitutes a separate test. In addition, once a positive result is encountered in a set of samples, the analytical testing can be halted as per the Regulation, and the entire material represented by the sample set is considered to be an ACM. During the survey, every

effort was made to obtain a reasonable number of representative samples of suspect ACMs necessary to meet the regulations (if possible), while at the same time keeping the number of samples to a minimum.

3.3.2 Asbestos Survey

A visual inspection for suspect Asbestos Containing Materials (ACMs) was carried out throughout the specified areas of the building. During the inspection, data was collected in regards to the type of suspect material, location, and estimated quantity, if applicable. Each of the suspect materials was rated for condition and the potential for disruption. A summary of the results of the survey is included below. The full results of the survey are included in Appendix 2, Enclosure No. 1. The general report format of the survey is that each room is detailed in its own table such that the information can be easily accessed as follows:

1. Individual Room Information Tables.
2. Data sheets that identify each room.
3. Provides general photos of the room and/or samples.
4. A list of the suspect building materials present in the room, if any, and sample numbers where applicable.
5. Analytical result for those materials sampled and tested.

In regards to ACMs, the materials were identified as friable/non-friable and provided with a condition rating and disruption factor (i.e. the ease of which the material can be accessed by building occupants). By adding the two ratings together, it can be easily determined which materials require immediate attention (i.e. the higher the sum, the greater the degree of urgency to treat/remove the material). For example an ACM in good condition that is concealed, would have a total rating of 2. An ACM that is in poor condition and is easily accessible would receive a total rating of 6. The ratings are as follows:

- I. Condition Rating 1 - good (material in good condition);
- II. Condition Rating 2 - mediocre (some minor deterioration);
- III. Condition Rating 3 - poor (material deteriorating, torn, pieces falling off, etc.);
- IV. Disruption Rating 1 - not accessible or encapsulated;
- V. Disruption Rating 2 - accessible by maintenance staff only;
- VI. Disruption Rating 3 - accessible by everyone.

These samples were submitted to the analytical laboratory to be analyzed for asbestos content. The results of the testing are included in Appendix 2.

During the asbestos survey, a representative number of suspect asbestos containing materials were sampled from the areas investigated and submitted for analysis. If suspect materials were similar (i.e. Vinyl Floor Tiles) but differed in some manner (i.e. color, texture, pattern, etc.) these items were treated as individual materials as there was no information available to indicate otherwise (i.e. date of installation, manufacturer, etc.). A total of sixteen (16) suspect materials were identified by Englobe Corp. and the laboratory:

1. Insulation;
2. Vinyl Tile;
3. Fiberboard;
4. Drywall Joint Compound;
5. Construction Mastic;
6. Carpet Adhesive;
7. Mortar;
8. Ceiling Tile;
9. Plaster;
10. Leveling Compound;
11. Caulking;
12. Foam Insulation;
13. Tar;
14. Roofing Shingle;
15. Drywall; and,
16. Felt/Tar Paper.

Vinyl Floor Tile: 4.0% Chrysotile. Non-Friable. White. Sample ASB21b, located below the carpet in Room #12 in northwest corner. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All White coloured Vinyl Floor Tiles within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

Caulking: 0.5 – 1.0% Chrysotile. Non-Friable. Brown. Sample ASB32a and ASB32b, located at the exterior of the building. ASB32a was located on the east side of the building next to the visitor centre entrance. ASB32b is located on the most southern door on the east side of the building. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All Brown coloured Caulking within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

In summary, Asbestos was detected at concentrations of 0.5% or greater in two (2) suspect materials that were sampled by Englobe Corp.

The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Building and Repair Operations.

3.4 Benzene

3.4.1 Benzene Background Information

Benzene is prescribed as a Designated Substance (O. Reg. 490/09). Benzene is a colorless, highly flammable liquid with a sweet odor. Benzene is a widely used chemical formed from both natural processes and human activities. It evaporates into the air very quickly and dissolves slightly in water. Some industries use benzene to make other chemicals which are used to make plastics, resins, and nylon and other synthetic fibers. Benzene is also used to make some types of rubbers, lubricants, dyes, detergents, drugs, glues, adhesives, household cleaning products, paint strippers, paints, furniture wax, pesticides, etc. Natural sources of benzene include emissions from volcanoes and forest fires. Benzene is also a natural part of crude oil, gasoline, and cigarette smoke. Exposure to the chemical can occur through breathing contaminated air, absorption through the skin, or by ingestion. Outdoor air contains low levels of benzene from tobacco smoke, automobile service stations, exhaust from motor vehicles, and industrial emissions. Exposure can result in symptoms such as skin and eye irritations, drowsiness, dizziness, headaches, and vomiting; long-term benzene exposure causes effects on the bone marrow and can cause anemia and leukemia or even death.

3.4.2 Benzene Survey

There were no apparent sources of the chemical Benzene present in the area inspected.

3.5 Coke Oven Emission

3.5.1 Coke Oven Emission Background Information

Coke Oven Emissions are prescribed as a Designated Substance (O. Reg. 490/09). “Coke oven emissions” means the benzene soluble fraction of total particulate matter of the substances emitted into the atmosphere from metallurgical coke ovens including condensed vapours and solid particulates.

3.5.2 Coke Oven Survey

There were no sources of Coke Oven Emissions present in the area surveyed.

3.6 Ethylene Oxide Emission

3.6.1 Ethylene Oxide Background Information

Ethylene Oxide is prescribed as a Designated Substance (O. Reg. 490/09). Ethylene oxide is a flammable gas with a somewhat sweet odor that dissolves easily in water. Ethylene oxide is a man-made chemical that is used primarily to make ethylene glycol (a chemical used to make antifreeze and polyester). A small amount (less than 1%) is used to control insects in some stored agricultural products and a very small amount is used in hospitals to sterilize medical equipment and supplies.

Ethylene oxide is toxic by inhalation. Symptoms of overexposure include headache and dizziness, progressing to convulsions, seizure and coma with increasing exposure. It is also an irritant to skin and the respiratory tract and inhaling the vapors may cause the lungs to fill with fluid several hours after exposure. Ethylene oxide is classified as carcinogenic to humans. Most people are not likely to be exposed to ethylene oxide because it is not commonly found in the environment.

3.6.2 Ethylene Oxide Survey

There were no apparent sources of Ethylene Oxide present in the area surveyed.

3.7 Isocyanates

3.7.1 Isocyanates Background Information

Isocyanates are prescribed as a Designated Substance (O. Reg. 490/09). Isocyanates are a family of highly reactive, low molecular weight chemicals used in liquid form or dissolved in other liquids. Isocyanates are the raw materials that make up all polyurethane products. They are widely used in the manufacture of flexible and rigid foams, fibers, coatings such as paints and varnishes, and elastomers, and are increasingly used in the automobile industry, auto body repair, and building insulation materials. Spray-on polyurethane products containing isocyanates have been developed for a wide range of retail, commercial, and industrial uses to protect cement, wood, fiberglass, steel and aluminum, including protective coatings for truck beds, trailers, boats, foundations, and decks. The isocyanates in single-component coating products are already chemically reacted, so that very little of the raw isocyanate remains; thus they are fairly safe even during application. Two-component coating products contain unreacted isocyanates and are usually much more hazardous to work with. The finished product is almost non-toxic, unless it is burned or caused to generate a dust. Any polyurethane material will give off isocyanates and other highly toxic substances if it is burned or welded. Exposure to isocyanates may occur during painting, foam-blowing, and the manufacture of many polyurethane products. Health effects of isocyanate exposure include occupational asthma and other lung problems, as well as irritation of the eyes, nose, throat, and skin. Isocyanates include compounds classified as potential human carcinogens.

3.7.2 Isocyanates Survey

There were no apparent sources of Isocyanates present in the area surveyed.

3.8 Lead

3.8.1 Lead Background Information

Lead is prescribed as a designated substance (O. Reg. 490/09). The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows:

- ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-level lead paints or surface coatings.

- ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings.
- ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings.

In the past, lead was a common ingredient of paint because it added strength, shine and extended the life of the paint. Lead was also commonly used in water pipes, solder, natural gas pipes, plastics, jewelry, glazing, batteries, bullets, and leaded gasoline etc. The use of lead in interior and exterior paints was banned in the late 1970's and products containing lead are controlled and/or prohibited under the Hazardous Products Act. Lead based paints may have been used on the interior or exterior walls of the existing building, however, this usually does not become an issue unless demolition work or renovation work is being considered or if the paint is in poor condition (i.e. peeling or flaking) and/or poses a threat to human health. During these operations care must be taken to ensure that lead paint does not become air borne dust through improper removal operations (i.e. scraping, manual or power sanding, sand blasting, sweeping etc.); that lead in paint does not become present in vapours, fumes or mist through removal operations (i.e. heat guns, chemical strippers, oxy-acetylene torch cutting, etc.); or that lead paint dust and/or particles are not left on the ground surface. Lead ingested even in trace amounts can be extremely toxic and can affect most of the body's biological systems: the blood, kidneys, gastrointestinal tract, brain, nervous system, and reproductive system. Infants and young children are especially at risk to lead poisoning as they absorb lead more easily than adults.

3.8.2 Lead Survey

Based on the Occupational Health and Safety Act, it is the responsibility of the employer to protect the worker. In addition, section 30 of the OHS Act deals with the presence of designated substances on construction projects. Since lead is a designated substance (R.S.O. 2009, Reg. 490/09), compliance with the OHS Act and Regulations will require some action to be taken where there is a lead hazard on a construction project. Section 30 requires the owner of a project to determine if lead is present on a project and, if it is, to so inform all potential contractors as part of the bidding process. In a similar way, contractors who receive this information are to pass it onto other contractors and subcontractors who are bidding for work on the project. If the owner or any contractor fails to comply with this requirement, they will be liable for any loss or damages that result from a contractor subsequently discovering that lead is present. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows:

- ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-level lead paints or surface coatings
- ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings.
- ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings

The Ministry of Labour's designated substance regulation (DSR) for lead, Regulation 490/09, specifies occupational exposure limits (OELs) for lead, and requires assessment and a control program to ensure compliance with these OELs. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average.

A visual inspection of the areas specified by the Client was carried out and data was collected in regards to the various paints present. This data was reviewed, and a representative number of paint samples were selected for laboratory analysis for lead content. Dependent upon the age of a structure, it may have been repainted numerous times, using different types of paints on different surfaces, at different times. An attempt was made to select samples for lead content analysis such that each visible color and style of paint was included in the analysis, however, there is no guarantee that all different paints at this site were accurately identified and sampled (i.e. not all painted surfaces were sampled). It should be further noted that paint samples were obtained from easily accessible locations only and if there were several layers of paint present, the sample contained each layer of paint. While samples are identified by the visible layer sampled, the presence of lead based paint may be in an undercoating. The analytical test result does not delineate which layer(s) of paint actually contains lead when present. Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.

Painted surfaces in this structure should therefore be treated as containing lead unless the specific surface has been tested and shown to be otherwise.

Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.

See Appendix 2 and 3 for additional information on sample locations and specific results for each sample.

3.9 Mercury

3.9.1 Mercury Background Information

Mercury is a Designated Substance (O. Reg. 490/09). Mercury is an element that occurs naturally throughout our solar system. On Earth, geological deposits are most often found in the form of cinnabar, a mercury sulfide mineral. Mercury is the only metal that is a liquid at room temperature and it evaporates, or vaporizes, relatively easily. Mercury can also combine with other metals to make amalgams, or solutions of metals, and has been used in the extraction of gold because of this property. In the environment, mercury can migrate between various media, such as air, soil, and water. In most chemical forms, mercury is a neurotoxin which can cause damage to the brain, central nervous system, kidneys, and lungs. The severity of mercury's toxic effects depends on the form and concentration of

mercury and the route of exposure. Products containing mercury include batteries, thermometers, measuring devices (i.e. barometers, hygrometers, etc.), thermostats, dental amalgam, switches/relays, and lamps. Cigarette smoke also contains mercury. Mercury may also be present in some paints in minute quantities. Mercury was used in paints as an anti-microbial pesticide or preservative in order to prevent mould growth. This practice ceased more than 10 years ago. The presence of mercury in paint should pose virtually no health risks as once a mercury-containing paint has cured, the mercury is incorporated into the paint matrix and cannot be released.

3.9.2 Mercury Survey

Mercury is present in some thermostats. One (1) mercury and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during the investigation. Mercury may be present in paints and/or adhesives in stable bonded form and in fluorescent lights which were noted on the Site.

The Ministry of Labour Guideline: A Guide to the Mercury Regulation (ISBN 0779407539) can be referred to in the development of a management plan. Mercury is also defined as a hazardous material under O. Reg. 347 General Waste Management (as amended) and, as such, there are specific transport and disposal requirements associated with mercury. The US EPA recommends the following general clean-up and disposal guidelines:

“Before Clean-up: Ventilate the Room. Have people and pets leave the room, and don't let anyone walk through the breakage area on their way out. Open a window and leave the room for 15 minutes or more. Shut off the central forced-air heating/air conditioning system, if there is one.”

“Clean-Up Steps for Hard Surfaces. Carefully scoop up glass fragments and powder using stiff paper or cardboard and place them in a glass jar with metal lid (such as a canning jar) or in a sealed plastic bag. Use sticky tape, such as duct tape, to pick up any remaining small glass fragments and powder. Wipe the area clean with damp paper towels or disposable wet wipes and place them in the glass jar or plastic bag. Do not use a vacuum or broom to clean up the broken bulb on hard surfaces.”

“Clean-up Steps for Carpeting or Rug. Carefully pick up glass fragments and place them in a glass jar with metal lid (such as a canning jar) or in a sealed plastic bag. Use sticky tape, such as duct tape, to pick up any remaining small glass fragments and powder. If vacuuming is needed after all visible materials are removed, vacuum the area where the bulb was broken. Remove the vacuum bag (or empty and wipe the canister), and put the bag or vacuum debris in a sealed plastic bag.”

“Disposal of Clean-up Materials. Immediately place all cleanup materials outside the building in a trash container or outdoor protected area for the next normal trash. Wash your hands after disposing of the jars or plastic bags containing clean-up materials. Check with your local government about disposal requirements in your specific area.”

“Future Cleaning of Carpeting or Rug: Ventilate the Room During and After Vacuuming. The next several times you vacuum, shut off the central forced-air heating/air

conditioning system and open a window prior to vacuuming. Keep the central heating/air conditioning system shut off and the window open for at least 15 minutes after vacuuming is completed.”

3.10 Silica

3.10.1 Silica Background Information

Silica is a Designated Substance (O. Reg. 490/09). The chemical compound silicon dioxide, also known as silica or silox, is an oxide of silicon, known for its hardness. Silica is most commonly found in nature as sand or quartz. It is a principal component of most types of glass, white ware ceramics, and substances such as concrete and silica gel, and is also used in microelectronics. Inhaling fine crystalline silica dust in very small quantities over time can lead to silicosis, bronchitis or, more rarely, cancer, as the dust becomes lodged in the lungs and continuously irritates them, reducing lung capacities as silica does not dissolve over time. This effect can be an occupational hazard for people exposed to sources of silica. In all other respects, silicon dioxide is inert and harmless. Workers are possibly exposed to crystalline silica dust in many trades and industries, including mining, tunneling, quarrying, masonry, metal foundries and ship and bridge repair. Activities that can produce significant amounts of crystalline silica dust include: abrasive blasting using crystalline silica or material containing crystalline silica; chipping and hammering of rock or materials containing silica; blasting, crushing, loading, shoveling and dumping of rock or materials containing crystalline silica; demolition of materials containing crystalline silica; dry sweeping of materials containing crystalline silica; or using compressed air to clean material containing crystalline silica.

3.10.2 Silica Survey

Sources of silica in the area inspected included glass, ceramics, and microelectronics. Silica may also be present in concrete, grouts and mortars. There do not appear to be any operations ongoing in this area that would result in the production of dusts containing silica.

The Ministry of Labour Guideline: Silica on Construction Projects can be referred to in the development of a management plan.

Silica, Crystalline Exposure Limits (O. Reg. 490):

- ▶ Quartz/Tripoli /Quartz [14808-60-7; 1317-95-9]: Time-Weighted Average 0.10 mg/m³ (Respirable).
- ▶ Cristobalite [14464-46-1]: Time-Weighted Average 0.05 mg/m³ (Respirable).

3.11 Vinyl Chloride

3.11.1 Vinyl Chloride Background Information

Vinyl chloride is prescribed as a designated substance (R.S.O. 2009, Reg. 490/09). Vinyl chloride is an important industrial chemical chiefly used to produce its polymer, polyvinyl chloride (PVC). It is a manufactured substance that does not occur naturally. At room temperature, vinyl chloride is a toxic, colorless gas with a sickly sweet odor. Vinyl chloride is a chemical intermediate and is not a final product. Due to the hazardous nature of vinyl chloride to human health there are no end products that use vinyl chloride in its monomer form. Once vinyl chloride has been polymerized it is very stable and non-hazardous and can be used for a great number of end products. The final product of the polymerization process is PVC in either a flake or pellet form. From its flake or pellet form PVC is heated and molded into end products such as PVC pipe and bottles. Vinyl chloride is also used as a refrigerant and in organic synthesis reactions. Exposure to vinyl chloride occurs mainly in the workplace where it is used in a manufacturing process. Vinyl chloride is a known carcinogen. Breathing high levels of vinyl chloride for short periods of time can cause dizziness, sleepiness, unconsciousness, and at extremely high levels can cause death. Breathing vinyl chloride for long periods of time can result in permanent liver damage, immune reactions, nerve damage, and liver cancer.

3.11.2 Vinyl Chloride Survey

There were no apparent sources of the chemical Vinyl Chloride present in the area surveyed. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.

4 Conclusions

Englobe Corp. was retained by The Corporation of the Town of Kearney to complete a Designated Substances Survey at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The study was carried out in accordance with the intent of our Proposal No. 2020-P152-091 and included the Designated Substances as defined under the *Occupational Health and Safety Act*. The purpose of the study was to determine the absence or presence of designated substances which may require special handling and/or disposal prior to or during demolition, renovations and/or equipment removal operations as required under the OHSA. The results of the study can be used as the basis for the development of management plans and quantification surveys if necessary.

The results of Englobe's survey indicate the following:

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Acrylonitrile	Possibly present in stable form in some manufactured products.	None.
Arsenic	Possibly present in stable form in paints and/or adhesives.	None.
Asbestos	Asbestos was detected at concentrations of 0.5% or greater, in two (2) the suspect materials sampled by Englobe Corp: 3. <u>Vinyl Tile</u> – 4.0% Chrysotile 4. <u>Caulking</u> – 0.5-1.0% Chrysotile	The removal of asbestos containing materials is detailed under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations. Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing materials unless tested and proven otherwise.
Benzene	Possibly present in stable form in paints and/or adhesives.	None.
Coke Oven Emissions	Not identified in subject area of survey.	None.
Ethylene Oxide	Not identified in subject area of survey.	None.
Isocyanates	Not identified in subject area of survey.	None.
Lead	A total of nine (9) paint samples were obtained from throughout areas of the survey. The Environmental Abatement Council of Ontario (EACO) Lead Guideline for Construction, Renovation, Maintenance or Repair defines lead coatings as follows: ▶ Paints or surface coatings containing less than or equal to 0.1% lead by weight (1000 ppm) are considered low-	The level of lead detected in the paint or surface coatings will dictate how they are to be treated, as defined in the EACO Lead Guideline, dependent upon the aggressiveness of disturbance of the material (i.e. the potential for dust production). Painted surfaces in this structure should therefore be treated as containing lead unless the specific surface has been

SUBSTANCE	COMMENTS	RECOMMENDATIONS
	<p>level lead paints or surface coatings.</p> <ul style="list-style-type: none"> ▶ Paints or surface coatings containing greater than 0.1% lead by weight (1000 ppm) but less than 0.5% lead by weight (5000 ppm) are considered to be lead-containing paints or surface coatings. ▶ Paints or surface coatings equal to or greater than 0.5% by weight (5000 ppm) are considered to be high-level lead-containing paints or surface coatings. <p>Of the nine (9) samples obtained, all nine (9) samples were found to contain lead at concentrations between <42 ppm and 2,800 ppm. Eight (8) of the paint samples had lead concentrations equal to or less than 1,000 ppm and are therefore considered to be low-level lead-containing paints or surface coatings. One (1) of the paint samples had a lead concentration between 1,000 and 5,000 ppm and is therefore considered to be a lead-containing paint or surface coating.</p> <p>Lead may be present within other building materials such as solder, lead piping, ceramic tile glaze, vent and pipe flashings.</p>	<p>tested and shown to be otherwise. Any work (renovation, demolition, etc.) involving lead containing coatings or other materials containing lead must be done so in a manner that minimizes fine dust production or fumes. The concentration of lead in air should not exceed the occupational exposure limits (OELs) for lead. The OEL for inorganic lead is 0.05 milligrams per cubic metre (mg/m³) of air as an 8-hour daily or 40-hour weekly time-weighted average. Renovation/demolition work may disturb lead containing coatings. The publication <i>Lead on Construction Projects</i>, September 2004, produced by the Ministry of Labour can be used as a guideline. Demolition debris that is coated with lead coatings must be disposed of in a registered waste facility licensed to accept the debris. Recycling of materials with lead coatings may require the removal of the coating prior to reuse.</p>
Mercury	<p>Mercury is present in some thermostats. One (1) mercury containing thermostat and two (2) non-mercury containing thermostats were encountered during the investigation. Mercury is present in some thermometers. No thermometers were observed during this investigation. Mercury vapour is likely present in fluorescent lights observed in the building.</p> <p>Mercury may be present in paints and/or adhesives in stable form.</p>	<p>Mercury or mercury vapour does not pose a risk to building occupants or workers provided that the container remains intact. Complete removal of mercury containing equipment should be carried out prior to renovations or demolition by trained individuals.</p> <p>The publication “A Guide to the Mercury Regulation” produced by the Ministry of Labour can be used as a guideline.</p>
Silica	<p>Silica is likely present in brick, concrete, cement, mortar, grout, and/or ceramic tiles.</p>	<p>Any work involving silica containing materials must be done so in a manner that minimizes fine dust production. Workers carrying out demolition or renovation operations where airborne silica levels are expected to exceed 0.05 mg/m³ should be protected through the use of respirators, misting, and a worker wash station.</p> <p>The Ministry of Labour Guideline: <i>Silica on Construction Projects</i> can be referred to in the development of a management plan.</p>

SUBSTANCE	COMMENTS	RECOMMENDATIONS
Vinyl Chloride	Vinyl Chloride was not present in pure chemical form. Vinyl chloride is likely present in stable form in PVC materials and possibly some interior finishes.	None.

Please see Section 5.0: Limitations of the Survey.

5 Limitations of Survey

This report has been prepared specifically and solely for the subject site at the Kearney Community Centre, located at 8 Main Street, in Kearney, Ontario. The factual information, observations, comments and recommendations contained herein have been prepared on behalf of and for the exclusive use of the Client and their design team and may not be reused by any other party without express consent of Englobe Corp. and the client. The scope of work carried out for this investigation, as authorized by the client, may not be appropriate to satisfy the requirements of others and, as such, Englobe Corp. accepts no liability or responsibility whatsoever for or in respect of any use of, or reliance upon, this report by any third party.

The investigation and subsequent findings were developed in accordance with currently accepted engineering standards and practices for environmental investigations. It contains all of our findings and our assessment of the apparent environmental conditions, relative to the specific designated substances and other defined hazardous materials, at this site at a specific point in time, based on information available at the time of writing, visual observations, the results of specific analytical tests on samples obtained from specific locations, and our understanding of the past and present use of the site.

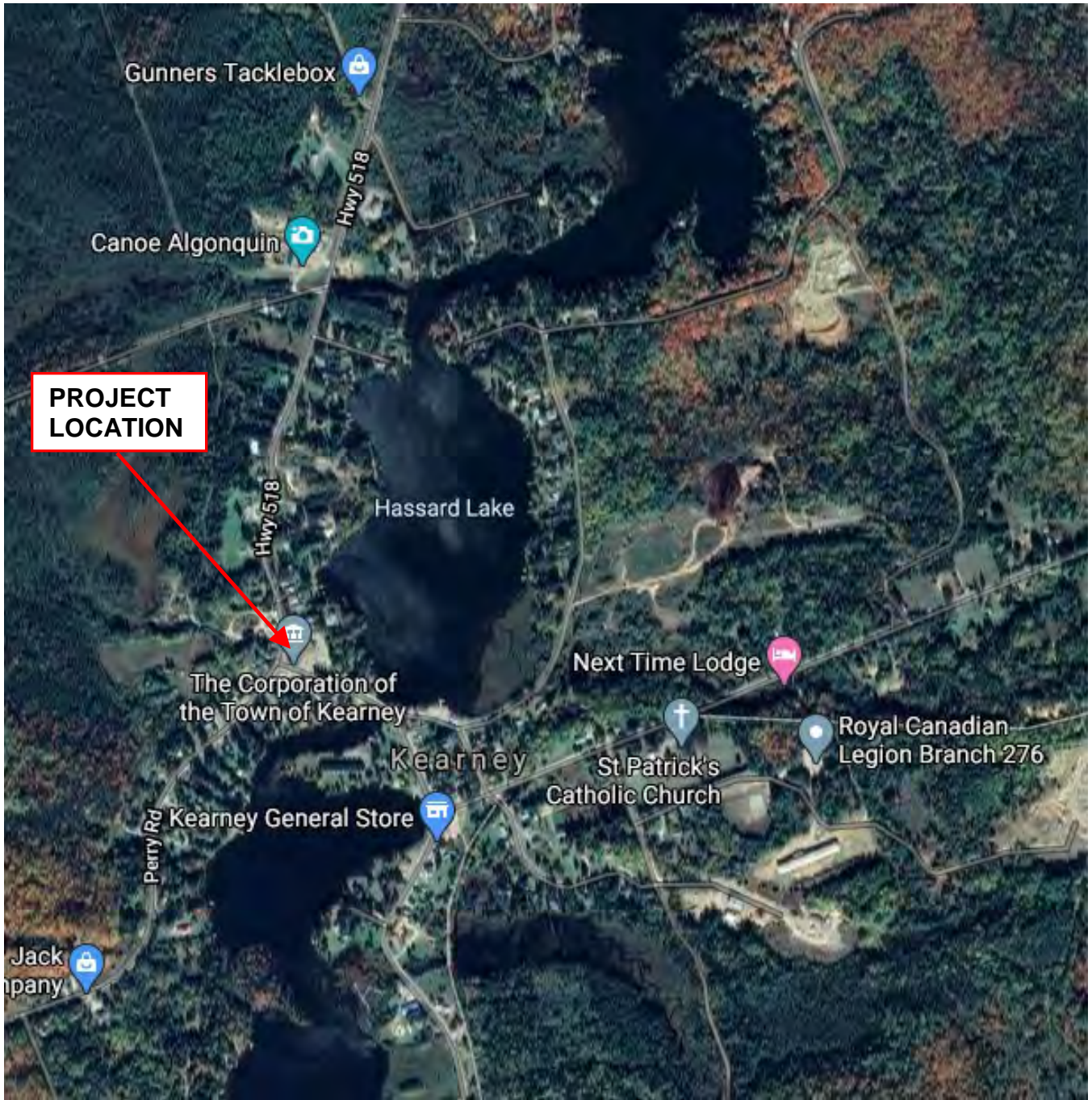
It should be noted that for an investigation of this nature it is not possible, even with exhaustive research, interviews and analysis, to identify all potential past occurrences of environmental impact or possible contaminants on this site. As such, there is no warranty, expressed or implied, by Englobe Corp. that this investigation has uncovered all potential designated substances on the site, or that latent or undiscovered conditions will not become evident in the future. The assessment and conclusions were based, in part, upon data obtained from individuals knowledgeable with the site and existing available data. Englobe Corp. relied on anecdotal information and historical data as supplied by all parties as accurate, unless contradicted by written documentation or conditions as observed in the field. Englobe Corp. accepts no responsibility for any misstatements, inaccuracies, or deficiencies contained in this report as a result of inaccurate or incomplete data supplied by such parties, or omissions, misinterpretations or fraudulent acts of the parties contacted or interviewed. Visual assessments were based solely on observations at locations easily accessible at the time of the investigation. Furthermore, our review of the site was carried out at a specific point in time and, as such, impacts of future events or site activities, or the manifestation of latent or undiscovered conditions, may require further exploration at the site and subsequent data analysis, and re-evaluation of the observations, assessments and conclusions expressed in this report. Englobe Corp. will not be held responsible for any real or perceived decrease in property value, its salability, or the ability to gain financing as a result of the factual information and comments contained herein.

We believe, however, that the level of detail carried out in this investigation is appropriate, as agreed by the parties, and in regards to the available time frames, site history, and the character of the site, the physical setting, land use and activities. If relevant material comes to light that may alter the conclusions of this report, this office must be contacted immediately.

We trust the comments contained in this report are sufficient for your present requirements. However, should you have any queries, or if we could be of further assistance to you, please do not hesitate to contact the report author.

Appendix 1 Drawings

MACRO KEY PLAN



Not To Scale

DESIGNATED SUBSTANCES SURVEY

Kearney Community Centre
8 Main Street, Kearney, Ontario

Englobe Corp. Reference No.: P-0022663-0-00-200-01



MICRO KEY PLAN



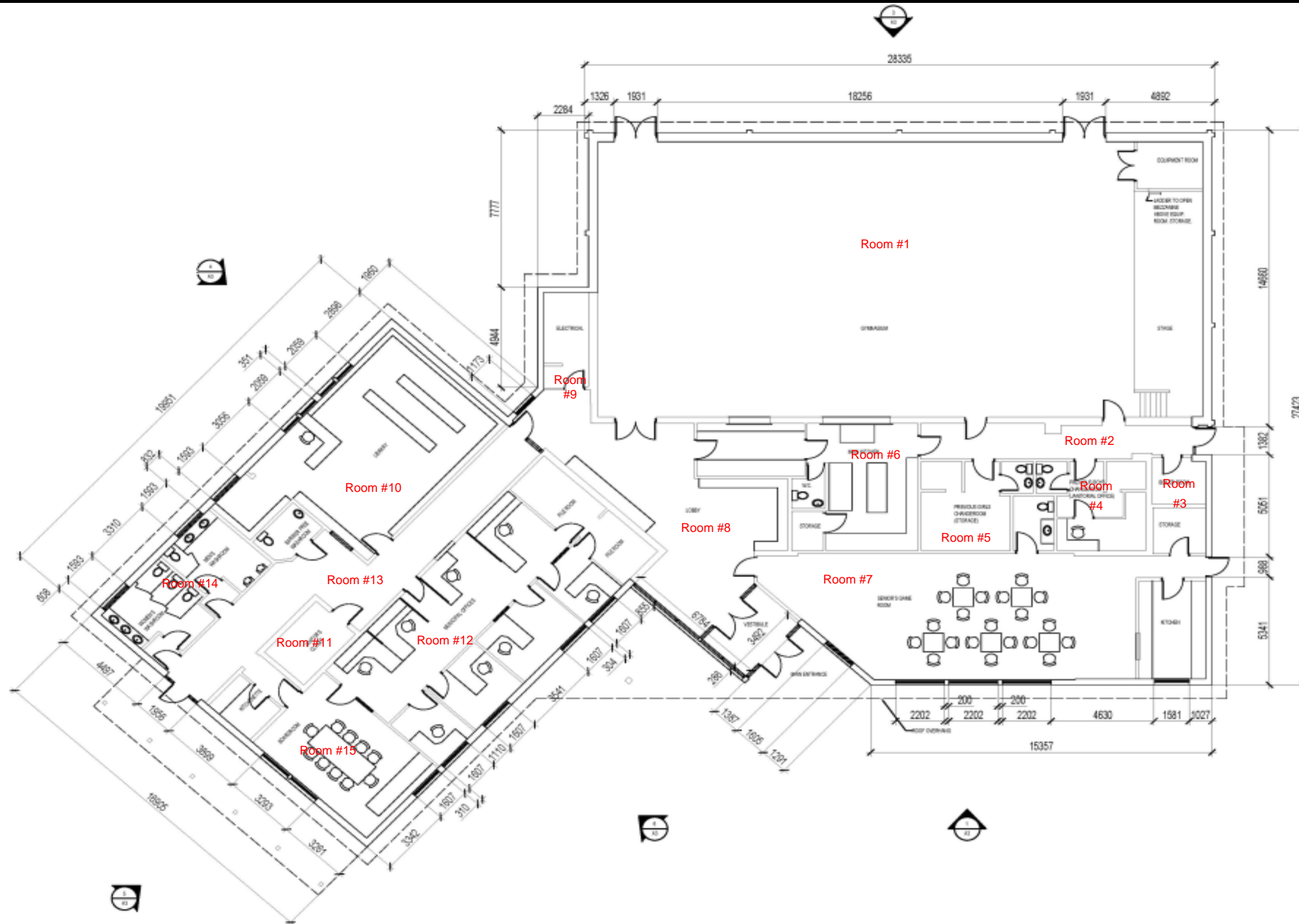
Not to Scale

DESIGNATED SUBSTANCES SURVEY

Kearney Community Centre
8 Main Street, Kearney, Ontario

Englobe Corp. Reference No.: P-0022663-0-00-200-01





Township of Kearney



Englobe Corp.
 2-120 Progress Court
 North Bay, Ontario, P1A 0C2
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No scale

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Seal

Designated Substances Survey
 Kearney Community Centre, 8 Main Street
 Kearney, Ontario

Sample Location Plan

00	DRAFT	2020/07/17	SC	SC	JRB
No.	Version	Date	By	Verif	Appr.
Discipline:	Environment	Prepare by:	SC	Verify by:	SC
Scale:	Not To Scale	Draw by:	SC	Approval by:	JRB
Date:	2020/07/17	Drawing no:			2
Page setup:	Paper size:	Register no.:			
ANSI B-LAN (MM)	17.00 X 11.00 in.				
Man.	Project	Otp	Project	Phase	Electronic ref.
JRB	P-0022663	---	EN	-	-----
					00

Appendix 2 Room Survey and Sample Results

ROOM SURVEY AND SAMPLE RESULTS

During the inspection, data was collected in regards to the material, the location (room number and floor), the degree to which the material can become pulverized (friability), the condition (condition rating), and the potential of the material being accessed by building occupants (disruption rating). In regards to ACMs, the materials were identified as friable/non-friable and provided with a condition rating and disruption factor (i.e. the ease of which the material can be accessed by building occupants). By adding the two ratings together, it can be easily determined which materials require immediate attention (i.e. the higher the sum, the greater the degree of urgency to treat/remove the material). For example an ACM in good condition that is concealed, would have a total rating of 2. An ACM that is in poor condition and is easily accessible would receive a total rating of 6.

Condition Rating

1 – Good
2 – Fair
3 – Poor

Disruption Rating

1 – Not accessible or encapsulated
2 – Accessible by maintenance staff
3 – Accessible by all

Friability – A material is considered to be friable if it can be crushed or ground to dust with hand pressure.

Note: Materials that serve as fixtures to a building and which can be easily removed prior to upgrades or demolition were not sampled (i.e. doors, cupboards). The survey is representative in nature, and contains sufficient information to prepare a Designated Substances Management Plan. To ascertain quantities of materials containing designated substances, a quantity survey would be required.

Sample identifier numbers preceded by “ASB” were tested for asbestos content. Sample identifier numbers preceded by “PB” were tested for lead content.

Sample sets (i.e. samples of the same suspect material) are identified with the same number but followed by “A”, “B”, or “C”. The suspect material was sampled from three different locations. There may however only be one picture depicting the suspect material.

In the majority of sampling procedures it is unavoidable to obtain a sample without also sampling the substrate the sample is adhered to. Samples followed by an asterisks (*) indicates substrate interference as noted by the laboratory.

Sample identifier numbers followed with ‘i’ are sub-layers identified by the laboratory during analysis. There may not be a photo associated with these samples as the layer was not visible until separated at the laboratory.

A site sketch including the floor layout of the building is included as Drawing No. 1 in Appendix 1.

It is noted that the field description may differ somewhat from the laboratory description of the materials sampled, however the sample is the same.

Please note that ASB13 samples were omitted from the report and are not missing.

During the asbestos survey, a representative number of suspect asbestos containing materials were sampled from the areas investigated and submitted for analysis. If suspect materials were similar (i.e. Vinyl Floor Tiles) but differed in some manner (i.e. color, texture, pattern, etc.) these items were treated as individual materials as there was no information available to indicate otherwise (i.e. date of installation, manufacturer, etc.). A total of sixteen (16) suspect materials were identified by Englobe Corp. and the laboratory:

1. Insulation;
2. Vinyl Tile;
3. Fiberboard;
4. Drywall Joint Compound;
5. Construction Mastic;
6. Carpet Adhesive;
7. Mortar;
8. Ceiling Tile;
9. Plaster;
10. Leveling Compound;
11. Caulking;
12. Foam Insulation;
13. Tar;
14. Roofing Shingle;
15. Drywall; and,
16. Felt/Tar Paper.

Vinyl Floor Tile: 4.0% Chrysotile. Non-Friable. White. *Sample ASB21b*, located below the carpet in Room #12 in northwest corner. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All White coloured Vinyl Floor Tiles within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

Caulking: 0.5 – 1.0% Chrysotile. Non-Friable. Brown. *Sample ASB32a and ASB32b*, located at the exterior of the building. ASB32a was located on the east side of the building next to the visitor centre entrance. ASB32b is located on the most southern door on the east side of the building. As such, all materials with similar characteristics to those described must be treated as non-friable asbestos containing materials and handled as such during repair and/or removal operations. The removal of ACMs is defined by friability and method of removal under the Occupational Health and Safety Act Ontario Regulation 278/05 Asbestos on Construction Projects and in Buildings and Repair Operations.

All Brown coloured Caulking within the study area must be treated as an Asbestos Containing Material unless tested and proven otherwise.

In summary, Asbestos was detected at concentrations of 0.5% or greater in two (2) suspect materials that were sampled by Englobe Corp.

NOTE: Where analysis is not available for suspect asbestos containing materials, those materials shall be treated as an asbestos containing material unless tested and proven otherwise. Those materials that have been identified to be asbestos containing must be treated as asbestos containing materials throughout the structure, unless tested and proven otherwise. Refer to the full list for confirmed ACMs potentially present in the building.










LOCATION/AREA:	Level 2 – Attic # 1 – Access via Gymnasium	PHOTOS: 01 – 06
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
South Side of Attic	Insulation	Grey	ASB01a	None Detected	04	Friable	1	2	-
North Side of Attic	Insulation	Grey	ASB01b	None Detected	05	Friable	1	2	-
Ductwork - Centre of Attic	Foam Insulation	Yellow	ASB20a	None Detected	06	Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 1 – Gymnasium	PHOTOS: 07 – 21
Notes		
<p>Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One(1) Non-Mercury Containing Thermostat was observed on south wall.</p>		
<p style="text-align: center;">Overview Facing East</p>  <p style="text-align: center;">07</p>	<p style="text-align: center;">Non-Mercury Containing Thermostat</p>  <p style="text-align: center;">08</p>	<p style="text-align: center;">Borehole Advanced Through North Wall Layers</p>  <p style="text-align: center;">09</p>
<p style="text-align: center;">Borehole Advanced Through Floor Layers</p>  <p style="text-align: center;">10</p>	 <p style="text-align: center;">11</p>	 <p style="text-align: center;">12</p>
 <p style="text-align: center;">13</p>	 <p style="text-align: center;">14</p>	 <p style="text-align: center;">15</p>

LOCATION/AREA:	Level 1 – Room # 1 – Gymnasium (Continued)	PHOTOS: 07 – 21
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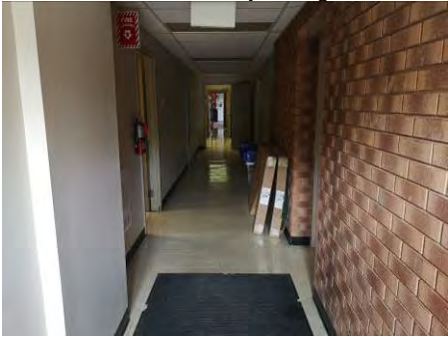





Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One(1) Non-Mercury Containing Thermostat was observed on south wall.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor - Below Stage	Vinyl Tile (12"x12")	Pink	ASB02a	None Detected	11	Friable	1	2	-
Floor – Near Gym Door Along South Wall	Vinyl Tile (12"x12")	Pink	ASB02b	None Detected	12	Friable	1	2	-
Floor – Stairs to Gym Stage	Vinyl Tile (12"x12")	Pink	ASB02c	None Detected	13	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03a	None Detected	11	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03b	None Detected	11	Friable	1	2	-
Below Vinyl Tile Floor	Fiberboard	White	ASB03c	None Detected	11	Friable	1	2	-
North Wall - East Door	Baseboard Mastic	White	ASB04a	None Detected	14	Friable	1	2	-
South Wall - South East Door	Baseboard Mastic	White	ASB04b	None Detected	15	Friable	1	2	-
South Wall - South West Door	Baseboard Mastic	White	ASB04c	None Detected	16	Friable	1	2	-
Ceiling Above Stage	Drywall Joint Compound	White	ASB05a	None Detected	17	Friable	1	2	-
Below ASB02b	Construction Mastic	Yellow	ASB06a	None Detected	11	Non-Friable	1	2	-

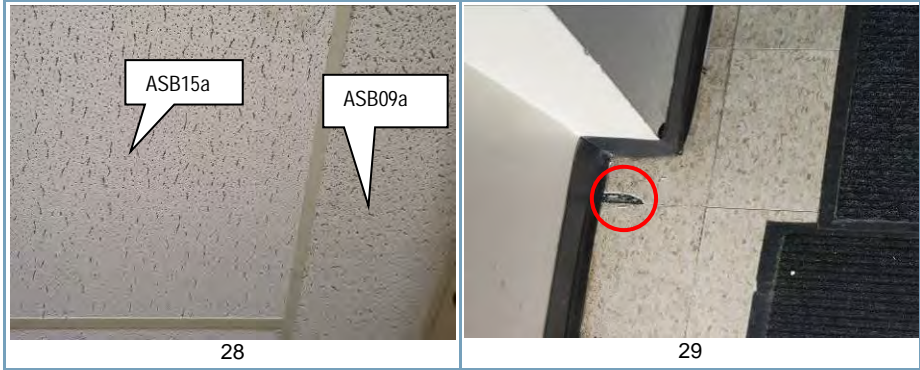
LOCATION/AREA:		Level 1 – Room # 1 – Gymnasium (Continued)					PHOTOS: 07 – 21			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Below ASB02a	Construction Mastic	Yellow	ASB06b	None Detected	12	Non-Friable	1	2	-	
Below ASB02b	Construction Mastic	Yellow	ASB06c	None Detected	13	Non-Friable	1	2	-	
South Wall	Mortar	Grey	ASB10c	None Detected	18	Non-Friable	1	3	-	
Painted Tile on North Wall	Ceiling Tile (2'x4')	Brown	ASB15c	None Detected	19	Non-Friable	1	2	-	
South Side of Stage	Wall Paint	Grey	PB01	<77 ppm	20	-	-	-	-	
Ceiling	Ceiling Paint	White	PB02	<66 ppm	21	-	-	-	-	

LOCATION/AREA:		Level 1 – Room # 2 – Hallway		PHOTOS: 22 – 29	
<u>Notes</u>					
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) Mercury Containing Thermostat was observed on the south wall.					
Overview of Hallway Facing West		Mercury Containing Thermostat		Borehole Advanced Through Ceiling Layers	
					
22		23		24	
					
25		26		27	

LOCATION/AREA:	Level 1 – Room # 2 – Hallway (Continued)	PHOTOS: 22 – 29
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) Mercury Containing Thermostat was observed on the south wall.

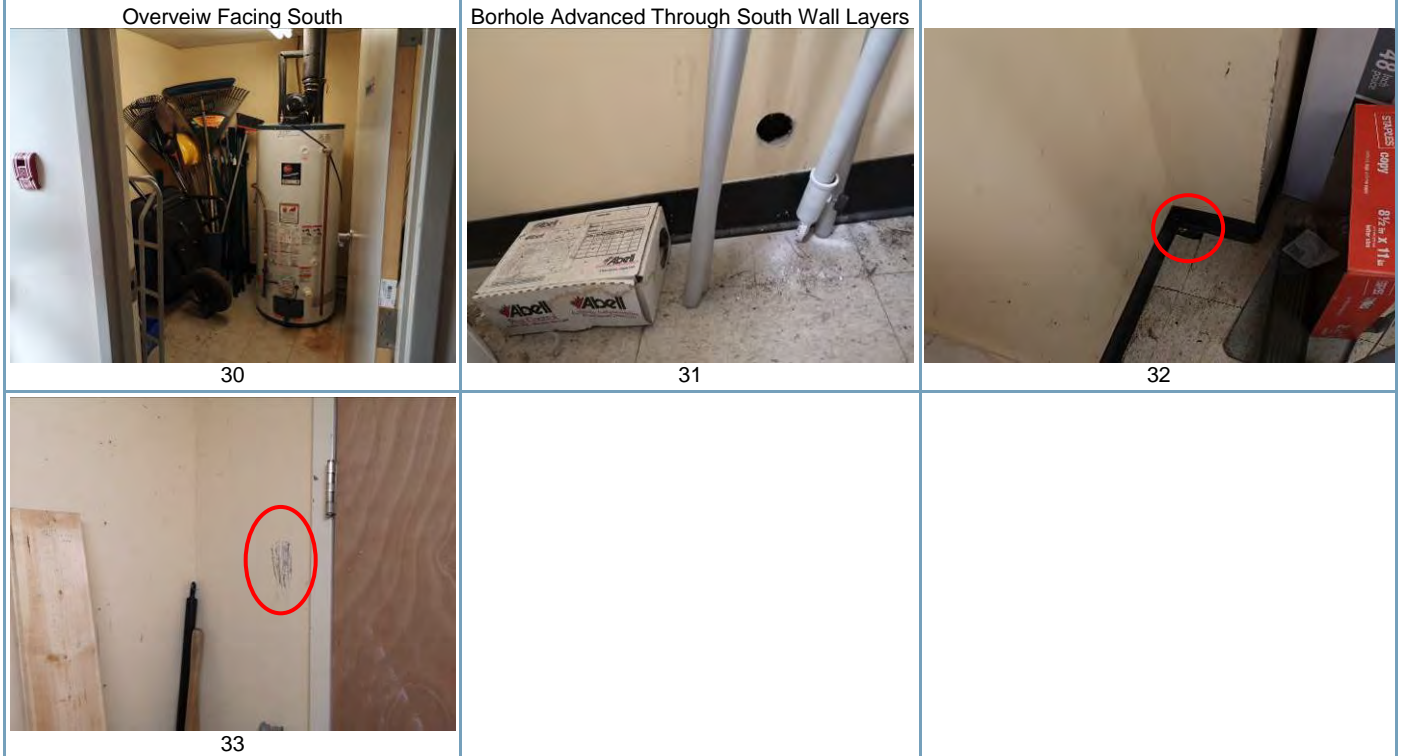


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07a	None Detected	25	Non-Friable	1	2	-
North Wall	Brick Mortar	Brown	ASB08a	None Detected	26	Non-Friable	1	3	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB09a	None Detected	28	Friable	1	2	-
North Wall	Block Concrete Mortar	Grey	ASB10a	None Detected	27	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	Beige	ASB11a	None Detected	29	Non-Friable	1	3	-
Sublayer of ASB11a, Identified by the Laboratory	Construction Mastic	Black	ASB11ai	None Detected	29	Non-Friable	1	2	-
Floor – Below Vinyl Tile	Construction Mastic	Black	ASB12a	None Detected	29	Non-Friable	1	3	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB15a	None Detected	28	Friable	1	2	-




LOCATION/AREA:	Level 1 – Room # 3 – Hot Water Tank Room	PHOTOS: 30 – 33
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



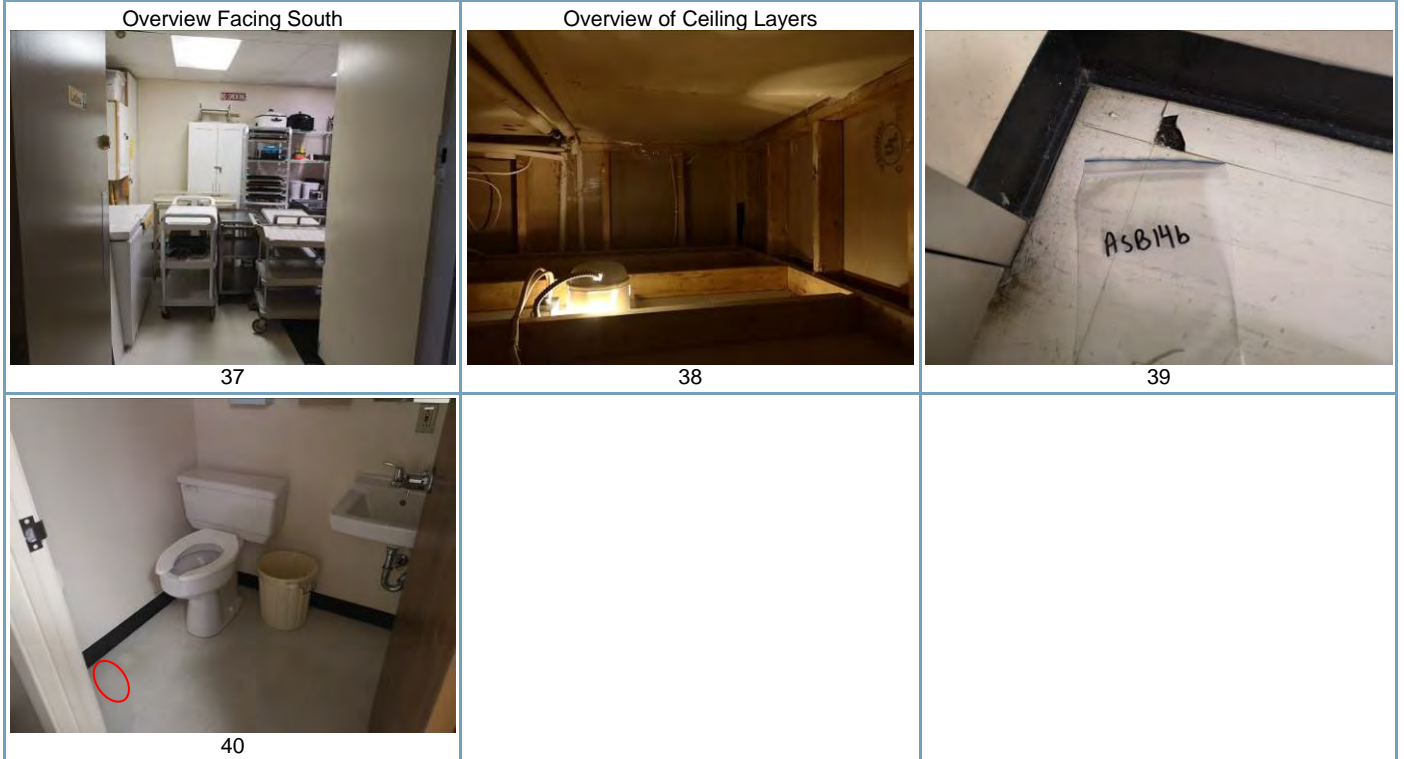
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Vinyl Tile (12"x12")	Beige	ASB11b	None Detected	32	Non-Friable	1	3	-
Sublayer of ASB11b, Identified by the Laboratory	Construction Mastic	Black	ASB11bi	None Detected	32	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Beige	ASB11c	None Detected	32	Non-Friable	1	3	-
Sublayer of ASB11c, Identified by the Laboratory	Construction Mastic	Black	ASB11ci	None Detected	32	Non-Friable	1	2	-
Floor - Below Vinyl Tile	Construction Mastic	Black	ASB12b	None Detected	32	Non-Friable	1	3	-
South Wall	Wall Paint	Yellow	PB03	<71 ppm	33	-	-	-	-

LOCATION/AREA:		Level 1 – Room # 4 – Maintenance Room				PHOTOS: 34 – 36			
Notes									
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.									
Overview Facing South			Overview of Wall Layers						
									
34			35			36			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor – Below Vinyl Tile	Construction Mastic	Black	ASB12c	None Detected	36	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	White & Grey	ASB14a	None Detected	36	Non-Friable	1	3	-

LOCATION/AREA:	Level 1 – Room # 5 – Kitchen Storage Room	PHOTOS: 37 – 40
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Vinyl Tile (12"x12")	Brown	ASB14b	None Detected	39	Non-Friable	1	3	-
Sublayer of ASB14b, Identified by the Laboratory	Construction Mastic	Black	ASB14bi	None Detected	39	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB14c	None Detected	40	Non-Friable	1	3	-
Sublayer of ASB14c, Identified by the Laboratory	Construction Mastic	Black	ASB14ci	None Detected	40	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 6 – Kitchen	PHOTOS: 41 – 45
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
East Wall	Drywall Joint Compound	White	ASB05b	None Detected	43	Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16a	None Detected	44	Non-Friable	1	3	-
Sublayer of ASB16a, Identified by the Laboratory	Construction Mastic	Black	ASB16ai	None Detected	44	Non-Friable	1	2	-
East Wall	Wall Paint	Beige	PB04	<78 ppm	45	-	-	-	-

LOCATION/AREA:

Level 1 – Room # 7 – Senior’s Lounge

PHOTOS: 46 – 54

Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

Overview Facing East



46

Overview of Ceiling Layers



47



48



49



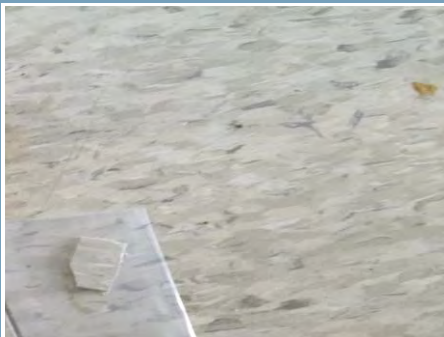
50



51



52



53



54

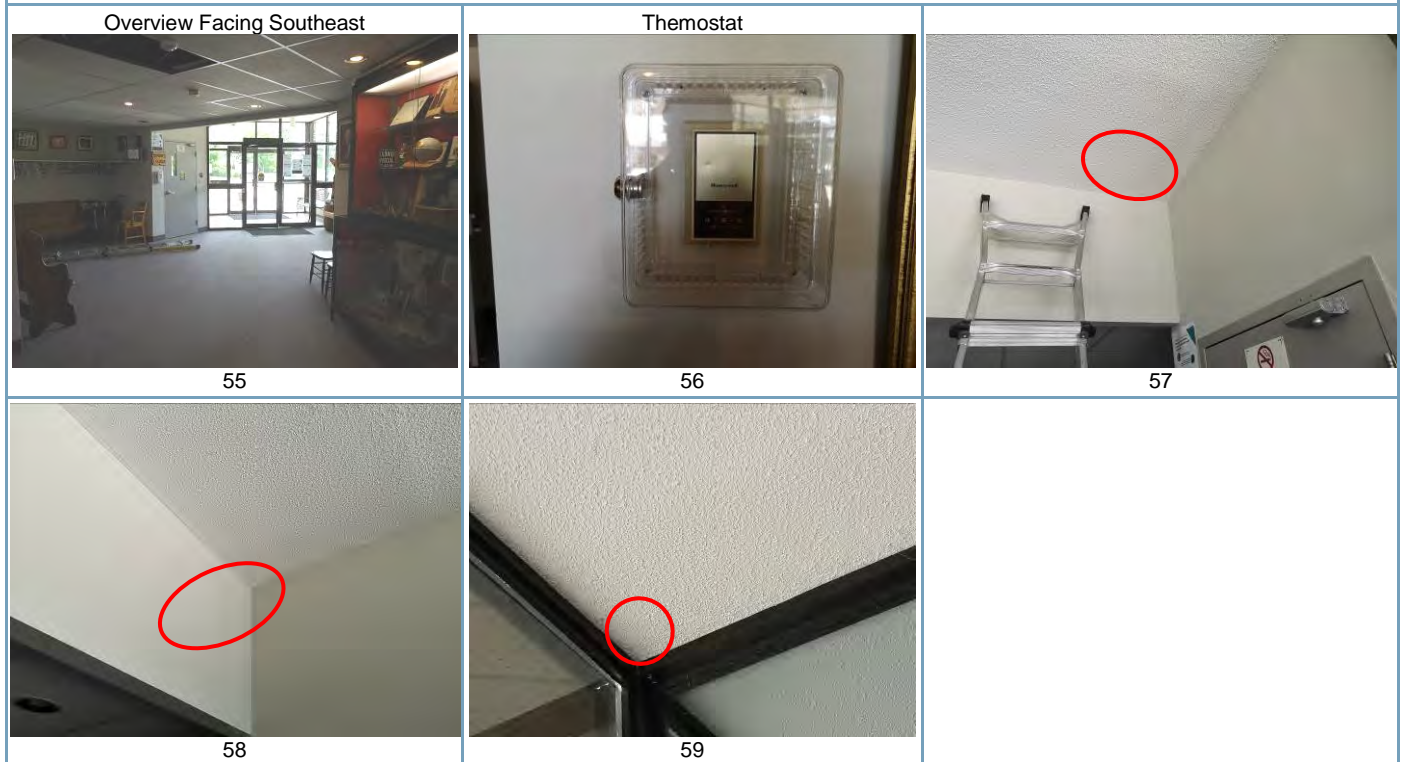
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling	Drywall Joint Compound	White	ASB05c	None Detected	48	Friable	1	2	-
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07b	None Detected	49	Non-Friable	1	2	-
Ceiling	Ceiling Tile (2'x4')	Brown	ASB09b	None Detected	48	Friable	1	2	-
Below Carpet	Carpet Adhesive	Yellow	ASB17a	None Detected	50	Non-Friable	1	2	-
Floor in Storage Room	Vinyl Tile (12"x12")	Grey	ASB18a	None Detected	51	Non-Friable	1	3	-

LOCATION/AREA:		Level 1 – Room # 7 – Senior’s Lounge (Continued)					PHOTOS: 46 – 54			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Floor in Kitchen	Vinyl Tile (12"x12")	Grey	ASB18b	None Detected	52	Non-Friable	1	3	-	
Floor in Washroom	Vinyl Tile (12"x12")	Grey	ASB18c	None Detected	53	Non-Friable	1	3	-	
Sublayer of ASB18c, Identified by the Laboratory	Leveling Compound	White	ASB18ci	None Detected	53	Non-Friable	1	2	-	
East Wall	Wall Paint	Pale Green	PB05	<66 ppm	54	-	-	-	-	


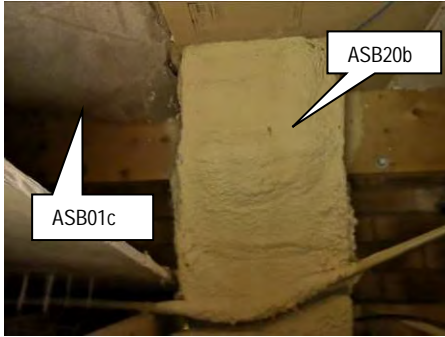
LOCATION/AREA:	Level 1 – Room # 8 – Entrance	PHOTOS: 55 – 59
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area. One (1) locked thermostat observed on the north wall in this room.



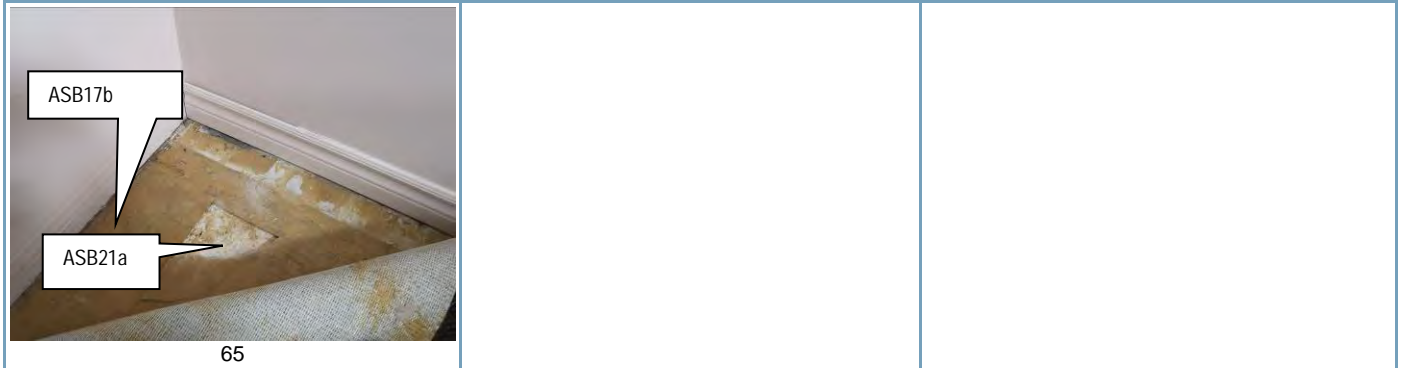
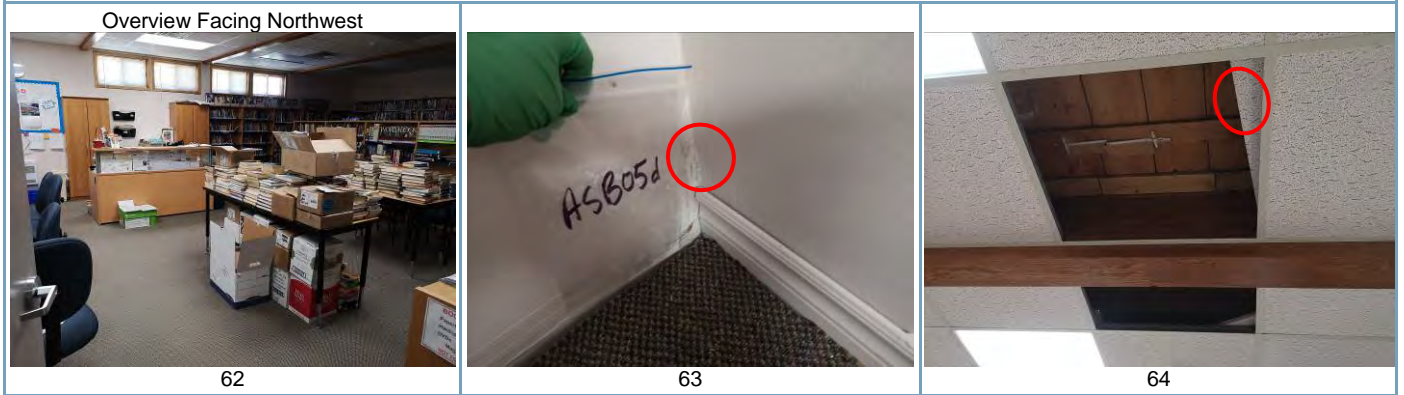
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling – Inside of Lobby	Plaster	White	ASB19a	None Detected	57	Friable	1	2	-
Ceiling – North Side	Plaster	White	ASB19b	None Detected	58	Friable	1	2	-
Ceiling – South Side	Plaster	White	ASB19c	None Detected	59	Friable	1	2	-

LOCATION/AREA:		Level 1 – Room # 9 – Closet				PHOTOS: 60 – 61			
Notes									
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.									
Overview Facing North									
 <p>60</p>			 <p>61</p>						
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Floor	Insulation	Grey	ASB01c	None Detected	61	Friable	1	2	-
East Ductwork	Foam Insulation	Yellow	ASB20b	None Detected	61	Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 10 – Library	PHOTOS: 62 – 65
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

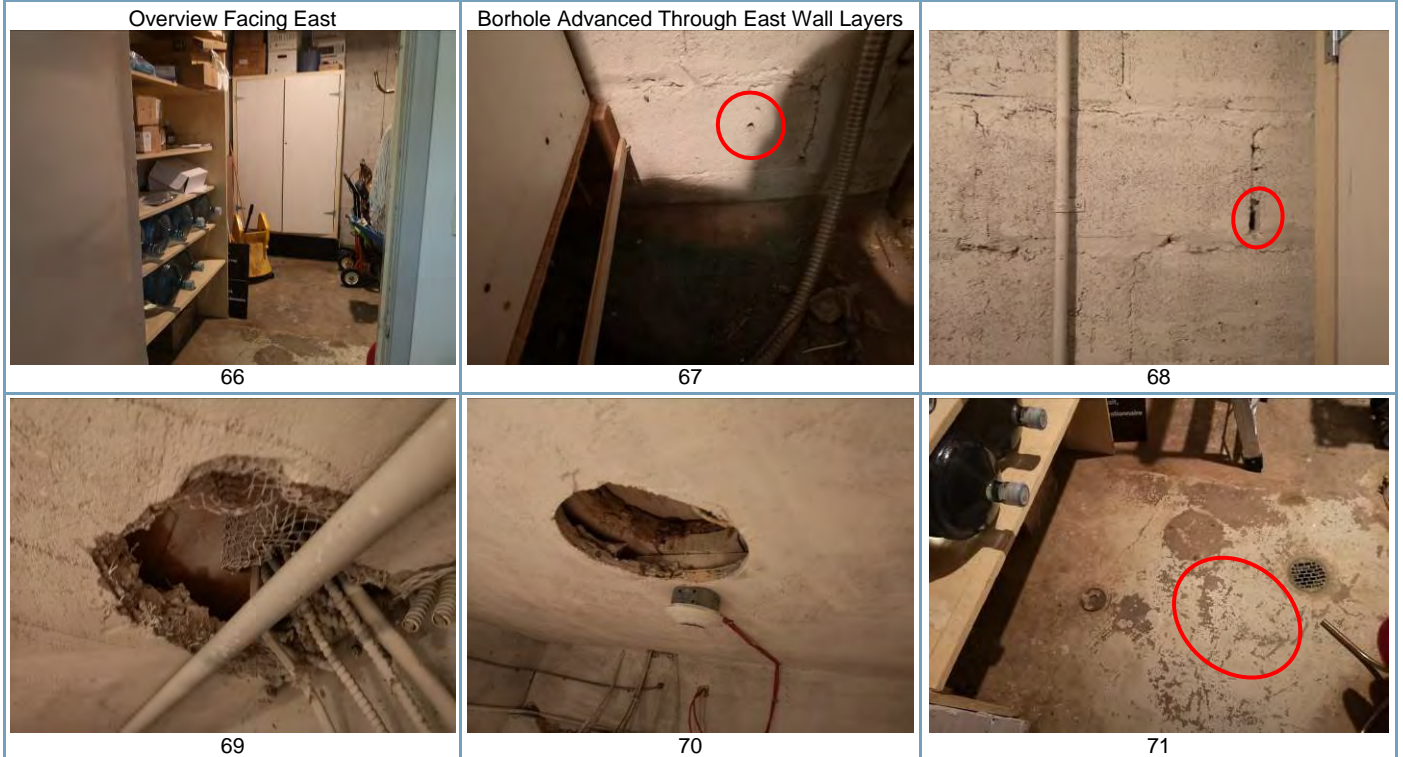


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Drywall Joint Compound	White	ASB05d	None Detected	63	Friable	1	2	-
Ceiling	Ceiling Tile (12"x12")	White & Grey	ASB15b	None Detected	64	Friable	1	2	-
Beneath Carpet	Carpet Adhesive	Yellow	ASB17b	None Detected	65	Non-Friable	1	2	-
Beneath Carpet	Vinyl Tile	White	ASB21a	None Detected	65	Non-Friable	1	2	-
Sublayer of ASB21a, Identified by the Laboratory	Construction Mastic	Yellow	ASB21ai	None Detected	65	Non-Friable	1	2	-
Sublayer of ASB21ai	Vinyl Tile	Red	ASB21aii	None Detected	65	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Room # 11 – Mechanical Room	PHOTOS: 66 – 71
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Block Concrete	Grey	ASB10b	None Detected	68	Non-Friable	1	3	-
Ceiling	Plaster	Grey	ASB26a	None Detected	69	Friable	1	2	-
Sublayer of ASB26a, Identified by the Laboratory	Plaster	White	ASB26ai	None Detected	69	Friable	1	2	-
Sublayer of ASB26a, Identified by the Laboratory	Drywall	White	ASB26aii	None Detected	69	Friable	1	2	-
Ceiling	Plaster	Grey	ASB26b	None Detected	70	Friable	1	2	-
Sublayer of ASB26b, Identified by the Laboratory	Plaster	White	ASB26bi	None Detected	70	Friable	1	2	-
Sublayer of ASB26b, Identified by the Laboratory	Drywall	White	ASB26bii	None Detected	70	Friable	1	2	-
Ceiling	Plaster	Grey	ASB26c	None Detected	70	Friable	1	2	-
Sublayer of ASB26c, Identified by the Laboratory	Plaster	White	ASB26ci	None Detected	70	Friable	1	2	-

<u>LOCATION/AREA:</u>		Level 1 – Room # 11 – Mechanical Room (Continued)					PHOTOS: 66 – 71			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Ceiling	Drywall	Grey	ASB27a	None Detected	69	Friable	1	2	-	
Ceiling	Drywall	Grey	ASB27b	None Detected	70	Friable	1	2	-	
Ceiling	Drywall	Grey	ASB27c	None Detected	70	Friable	1	2	-	
Floor	Wall Paint	Grey	PB06	<2,800 ppm	71	-	-	-	-	

<u>LOCATION/AREA:</u>		Level 1 – Room # 12 – Offices					PHOTOS: 72 – 74			
<u>Notes</u>										
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.										
Overview Facing East			Overview of Ceiling Layers							
										
72			73			74				
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Below Carpet	Carpet Adhesive	Yellow	ASB17c	None Detected		Non-Friable	1	2	-	
Below Carpet	Vinyl Tile	White	ASB21b	4.0% Chrysotile	74	Non-Friable	1	3	2 or 3	
Below Carpet	Vinyl Tile	White	ASB21c	Sample Not Analyzed, See ASB21b	74	Non-Friable	1	2	-	

LOCATION/AREA:	Level 1 – Room # 13 – Corridor	PHOTOS: 75 – 77
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

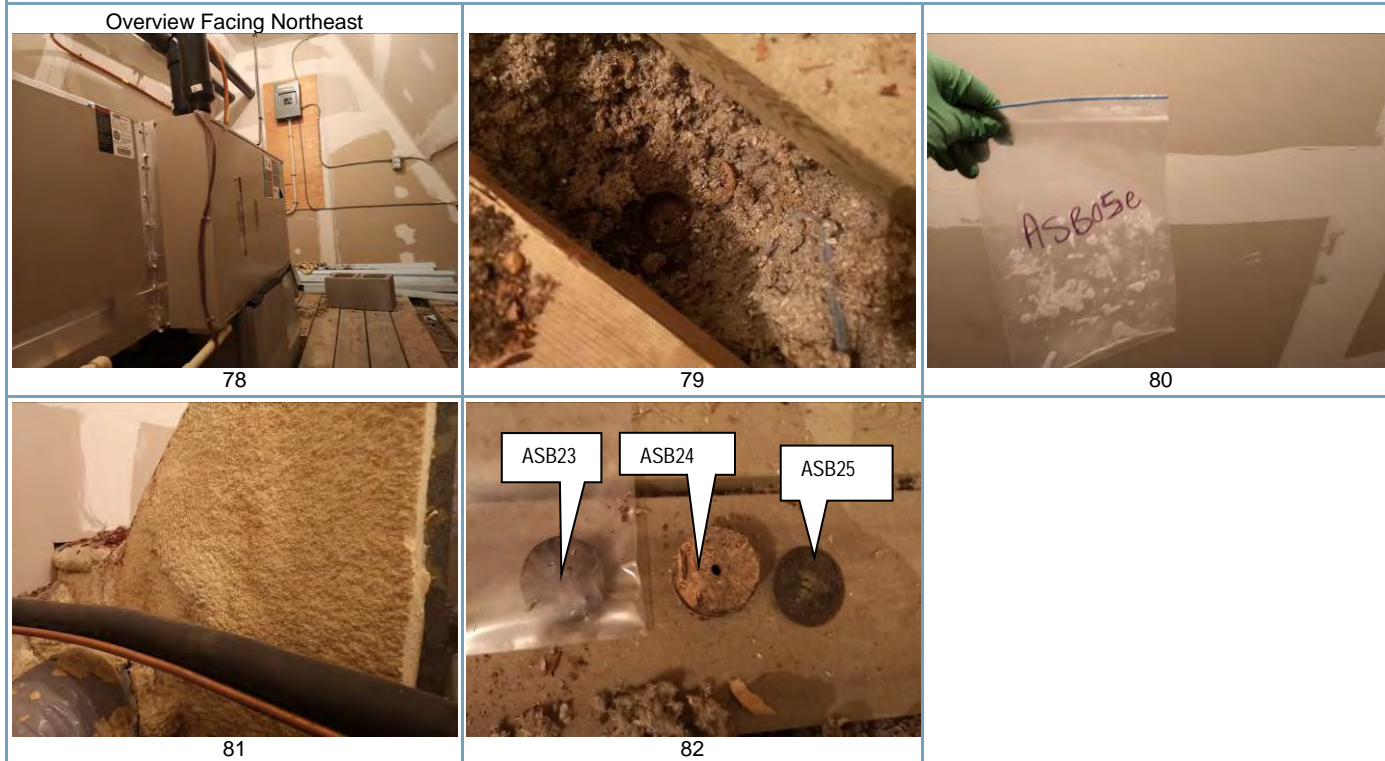


Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22a	None Detected	77	Non-Friable	1	2	-
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22b	None Detected	77	Non-Friable	1	2	-
Around Vent, Above, Ceiling Tile	Caulking	Red	ASB22c	None Detected	77	Non-Friable	1	2	-








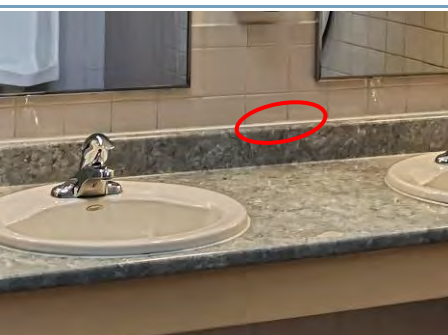
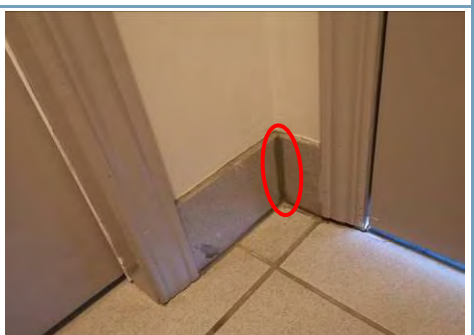
LOCATION/AREA:	Level 1 – Room # 13 – Attic #2	PHOTOS: 78 – 82
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



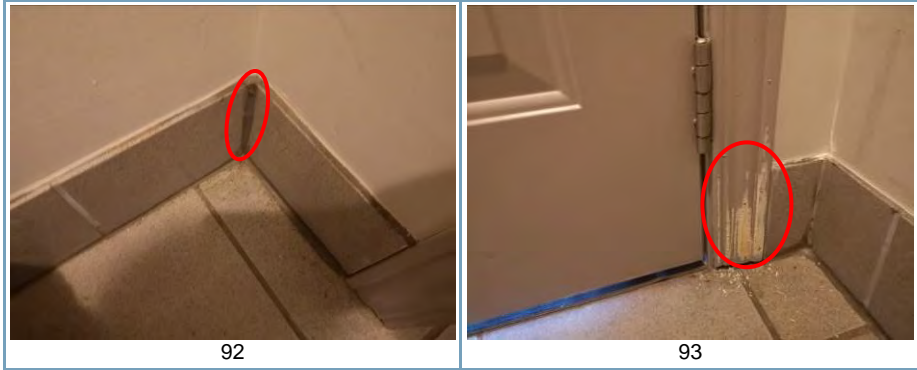
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Ceiling	Drywall Joint Compound	White	ASB05e	None Detected	80	Friable	1	2	-
Around Ductwork	Foam Insulation	Yellow	ASB20c	None Detected	81	Friable	1	2	-
Floor - First Layer	Tar	Black	ASB23a	None Detected	82	Non-Friable	1	3	-
Floor - First Layer	Tar	Black	ASB23b	None Detected	82	Non-Friable	1	3	-
Floor - First Layer	Tar	Black	ASB23c	None Detected	82	Non-Friable	1	3	-
Floor - Second Layer	Fiber Board	Brown	ASB24a	None Detected	82	Non-Friable	1	3	-
Floor - Second Layer	Fiber Board	Brown	ASB24b	None Detected	82	Non-Friable	1	3	-
Floor - Second Layer	Fiber Board	Brown	ASB24c	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25a	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25b	None Detected	82	Non-Friable	1	3	-
Floor - Third Layer	Felt/Tar Paper	Black	ASB25c	None Detected	82	Non-Friable	1	3	-

LOCATION/AREA:	Level 1 – Room # 14 – Washrooms	PHOTOS: 83 – 93
<u>Notes</u>		
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.		
Overview of Multiuse Washroom Facing West	Overview of Men's Washroom Facing West	Overview of Women's Washroom Facing West
 <p style="text-align: center;">83</p>	 <p style="text-align: center;">84</p>	 <p style="text-align: center;">85</p>
 <p style="text-align: center;">86</p>	 <p style="text-align: center;">87</p>	 <p style="text-align: center;">88</p>
 <p style="text-align: center;">89</p>	 <p style="text-align: center;">90</p>	 <p style="text-align: center;">91</p>

LOCATION/AREA:	Level 1 – Room # 14 – Washrooms (Continued)	PHOTOS: 83 – 93
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.







Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Women's Washroom West Wall	Drywall Joint Compound	White	ASB05f	None Detected	86	Friable	1	2	-
Women's Washroom Ceiling	Ceiling Tile (2'x4')	Brown	ASB09c	None Detected	87	Friable	1	2	-
Multiuse Washroom Around Sink	Caulking	White	ASB28a	None Detected	88	Non-Friable	1	3	-
Sublayer of ASB28a, Identified by the Laboratory	Drywall Joint Compound	White	ASB28a	None Detected	88	Non-Friable	1	3	-
Men's Washroom Around the Sink	Caulking	White	ASB28b	None Detected	89	Non-Friable	1	3	-
Women's Washroom Around the Sink	Caulking	White	ASB28c	None Detected	90	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – West Side	Caulking	Grey	ASB29a	None Detected	91	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – East Side	Caulking	Grey	ASB29b	None Detected	92	Non-Friable	1	3	-
Women's Washroom Around Baseboard Tile – East Side	Caulking	Grey	ASB29c	None Detected	92	Non-Friable	1	3	-
Door Frame	Wall Paint	Dark Beige	PB07	<42 ppm	93	-	-	-	-







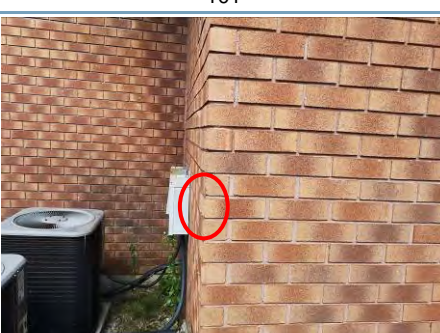
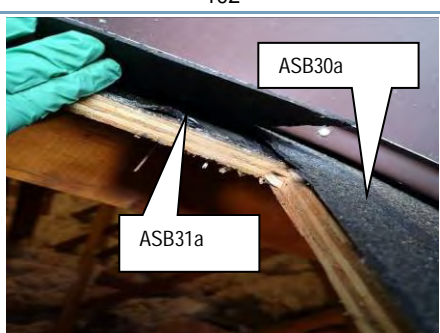

LOCATION/AREA:	Level 1 – Room # 15 – Visitor’s Centre	PHOTOS: 94 – 97
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.

Overview Facing Southeast	Overview of Ceiling Layers	
 <p style="text-align: center;">94</p>	 <p style="text-align: center;">95</p>	 <p style="text-align: center;">96</p>
 <p style="text-align: center;">97</p>		

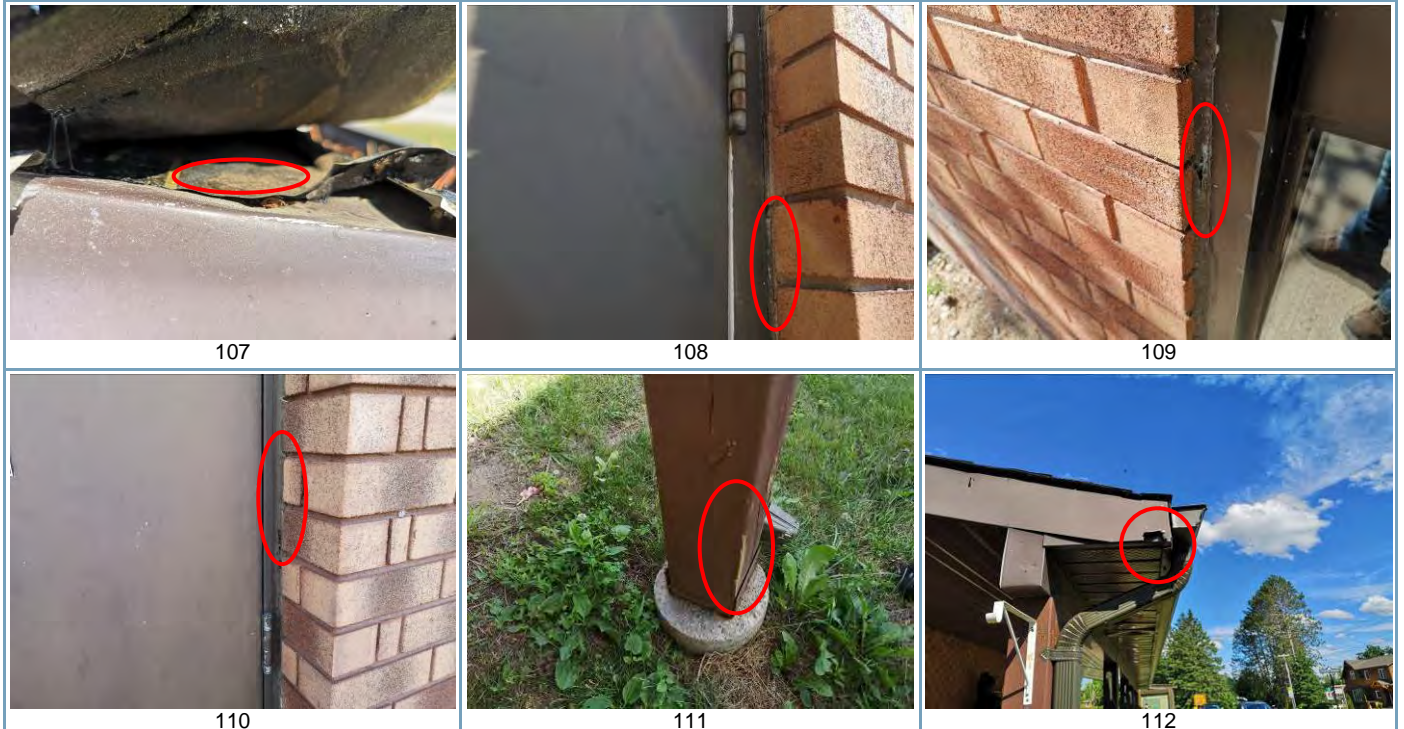
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
Behind Northwest Baseboard	Construction Mastic	Yellow	ASB07c	None Detected	96	Non-Friable	1	2	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16b	None Detected	97	Non-Friable	1	3	-
Floor	Vinyl Tile (12"x12")	Brown	ASB16c	None Detected	97	Non-Friable	1	3	-
Sublayer of ASB16c, Identified by the Laboratory	Construction Mastic	Black	ASB16ci	None Detected	96	Non-Friable	1	2	-

LOCATION/AREA:	Level 1 – Exterior of Community Centre	PHOTOS: 98 – 112
<u>Notes</u>		
Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.		
Overview of South and East Side Facing North	Overview of Northwest Side Facing West	Overview of Northeast Side Facing Northwest
 <p style="text-align: center;">98</p>	 <p style="text-align: center;">99</p>	 <p style="text-align: center;">100</p>
Overview of East Side Facing West	Overview of West Side Facing East	
 <p style="text-align: center;">101</p>	 <p style="text-align: center;">102</p>	 <p style="text-align: center;">103</p>
 <p style="text-align: center;">104</p>	 <p style="text-align: center;">105</p>	 <p style="text-align: center;">106</p>

LOCATION/AREA:	Level 1 – Exterior of Community Centre (Continued)	PHOTOS: 98 – 112
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Notes

Only those building materials identified as a suspect Asbestos Containing Material (ACM) and sampled have been listed. See full list for confirmed ACMs potentially present in this area.



Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type
North Wall	Mortar Brick	Brown	ASB08b	None Detected	103	Non-Friable	1	3	-
West Wall	Mortar Brick	Brown	ASB08c	None Detected	104	Non-Friable	1	3	-
Roof - Attic through Room 1 Vent	Roofing Shingles	Black	ASB30a	None Detected	105	Non-Friable	1	2	-
Sublayer of ASB30a, Identified by the Laboratory	Tar	Black	AB30ai	None Detected	105	Non-Friable	1	2	-
Roof - Overhang of Visitor Centre	Roofing Shingles	Black	ASB30b	None Detected	106	Non-Friable	1	2	-
Roof -Overhang of Visitor Centre	Roofing Shingles	Black	ASB30c	None Detected	106	Non-Friable	1	2	-
Roof - Attic through Room 1 Vent	Felt/Tar Paper	Black	ASB31a	None Detected	105	Non-Friable	1	2	-
Sublayer of ASB31a, Identified by the Laboratory	Tar	Black	ASB31ai	None Detected	105	Non-Friable	1	2	-
Roof - Overhang of Visitor Centre	Felt/Tar Paper	Black	ASB31b	None Detected	107	Non-Friable	1	2	-
Sublayer of ASB31b, Identified by the Laboratory	Tar	Black	ASB31bi	None Detected	107	Non-Friable	1	2	-



LOCATION/AREA:		Level 1 – Exterior of Community Centre (Continued)					PHOTOS: 98 – 112			
Location	Suspect Materials	Colour	Sample No.	Analytical Results % Type or ppm	Photo #	Friability	Condition Rating	Disruption Rating	Anticipated Removal Type	
Roof, Overhang of Visitor Centre	Felt/Tar Paper	Black	ASB31c	None Detected	107	Non-Friable	1	2	-	
Sublayer of ASB31c, Identified by the Laboratory	Tar	Black	ASB31ci	None Detected	107	Non-Friable	1	2	-	
North Side	Caulking	Brown	ASB32a	0.5% Chrysotile	108	Non-Friable	1	3	1 or 2	
East Side	Caulking	Brown	ASB32b	1.0% Chrysotile	109	Non-Friable	1	3	1 or 2	
Sublayer of ASB32b, Identified by the Laboratory	Foam	Blue	ASB32bi	None Detected	109	Non-Friable	1	3	-	
East Side	Caulking	Brown	ASB32c	Sample Not Analyzed, See ASB01a and b	110	Non-Friable	1	3	1 or 2	
Post In Front of Visitor's Centre	Post Paint	Brown	PB08	<63 ppm	111	-	-	-	-	
Paint	Trim Paint	Brown	PB09	<82 ppm	112	-	-	-	-	

Appendix 3 Analytical Results: Asbestos and Lead

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028048 Client No.: ASB01a	Analyst Observation: Grey Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; South Side Of Attic Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected

Lab No.: 7028049 Client No.: ASB01b	Analyst Observation: Grey Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; North Side Of Attic Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected


Lab No.: 7028050 Client No.: ASB01c	Analyst Observation: Tan Insulation Client Description: Insulation (Grey)	Location: Attic Of Gym Ceiling; Through Hatch Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 100 Cellulose	<u>Percent Non-Fibrous Material:</u> None Detected

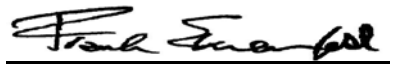
Lab No.: 7028051 Client No.: ASB02a	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Under Stage Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028052 Client No.: ASB02b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Door South Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028053 Client No.: ASB02c	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Pink	Location: Gym; Floor Stage Stairs Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

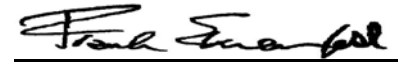
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028054 Client No.: ASB03a	Analyst Observation: Lt Tan Fiberboard Client Description: Drywall White	Location: Gym; Beneath ASB02a (Floor) Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 20 Cellulose	<u>Percent Non-Fibrous Material:</u> 80
Lab No.: 7028055 Client No.: ASB03b	Analyst Observation: Lt Tan Fiberboard Client Description: Drywall White	Location: Gym Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 20 Cellulose	<u>Percent Non-Fibrous Material:</u> 80
Lab No.: 7028056 Client No.: ASB03c	Analyst Observation: Lt Tan Fiberboard Client Description: Drywall White	Location: Gym Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 15 Cellulose	<u>Percent Non-Fibrous Material:</u> 85
Lab No.: 7028057 Client No.: ASB04a	Analyst Observation: White Mastic Client Description: Baseboard Mastic White	Location: Gym; North Wall East Door Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028058 Client No.: ASB04b	Analyst Observation: Lt Tan Mastic Client Description: Baseboard Mastic White	Location: Gym; North Wall South East Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028059 Client No.: ASB04c	Analyst Observation: Lt Tan Mastic Client Description: Baseboard Mastic White	Location: Gym; North Wall South West Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028060 Client No.: ASB05a	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Gym; Ceiling Above Stage Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028061 Client No.: ASB05b	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Kitchen; East side Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028062 Client No.: ASB05c	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Service Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

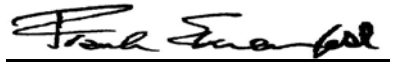
Lab No.: 7028063 Client No.: ASB05d	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028064 Client No.: ASB05e	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028065 Client No.: ASB05f	Analyst Observation: White Joint Compound Client Description: Drywall Joint Compound White	Location: WW In Room B9 Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

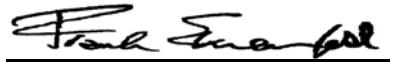
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028066 Client No.: ASB06a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Gym; Below ASB02b Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028067 Client No.: ASB06b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow <u>Percent Non-Asbestos Fibrous Material:</u> 3 Cellulose	Location: Gym; Below ASB02a Facility: <u>Percent Non-Fibrous Material:</u> 97
Lab No.: 7028068 Client No.: ASB06c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Yellow Mastic Client Description: Construction Mastic Yellow <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Gym; Below ASB02b Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028069 Client No.: ASB07a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Construction Mastic <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Hallway; Behind North W. Baseboard Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028070 Client No.: ASB07b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Construction Mastic <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028071 Client No.: ASB07c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Construction Mastic <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Facility: <u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028072 Client No.: ASB08a	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Hallway; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028073 Client No.: ASB08b	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Ext; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028074 Client No.: ASB08c	Analyst Observation: Tan Brick Client Description: Mortar Brick Brown	Location: Ext; West Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

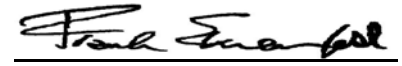
Lab No.: 7028075 Client No.: ASB09a	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Hallway; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50

Lab No.: 7028076 Client No.: ASB09b	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Seniors; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 55

Lab No.: 7028077 Client No.: ASB09c	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2'X4' Brown Dense Squiggle Pattern	Location: Wash; Women's Wash Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028078 Client No.: ASB10a	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Hallway; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028079 Client No.: ASB10b	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Closet; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028080 Client No.: ASB10c	Analyst Observation: Grey Mortar Client Description: Block Concrete Mortar (Grey)	Location: Gym; North Wall Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100


Lab No.: 7028081 Client No.: ASB11a	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hallway; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028081(L2) Client No.: ASB11a	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hallway; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028082 Client No.: ASB11b	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028082(L2) Client No.: ASB11b	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028083 Client No.: ASB11c	Analyst Observation: Lt Tan Floor Tile Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028083(L2) Client No.: ASB11c	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Beige	Location: Hot Water; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028084 Client No.: ASB12a	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Hallway; Floor Below ASB11a Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028085 Client No.: ASB12b	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Hot Water Tank; Floor below ASB13b Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

Lab No.: 7028086 Client No.: ASB12c	Analyst Observation: Black Mastic Client Description: Construction Mastic Black	Location: Maint Room; Floor Below ASB14a Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Ellen Smith

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director


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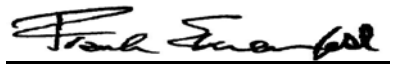
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028087 Client No.: ASB14a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Maint Room; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028087(L2) Client No.: ASB14a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Maint Room; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028088 Client No.: ASB14b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028088(L2) Client No.: ASB14b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028089 Client No.: ASB14c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028089(L2) Client No.: ASB14c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 White With Grey <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Kitchen Cart Storage; Floor Facility: <u>Percent Non-Fibrous Material:</u> 99

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Laboratory Director


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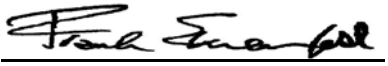
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028090 Client No.: ASB15a	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Hallway; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 20 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 45
Lab No.: 7028091 Client No.: ASB15b	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Library; Ceiling Center Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 35 Cellulose 15 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028092 Client No.: ASB15c	Analyst Observation: Tan Ceiling Tile Client Description: Ceiling Tile 2X4 Brown Light Squiggle Pattern In Ceiling	Location: Gym; Painted Boards Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Cellulose 20 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028093 Client No.: ASB16a	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028093(L2) Client No.: ASB16a	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Brown	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	<u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028094 Client No.: ASB16b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown	Location: Visitors Centre; Floor To Kitchen Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Analyst: Ellen Smith

Approved By: 
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Laboratory Director


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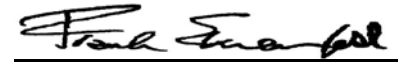
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028095 Client No.: ASB16c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile 12X12 Brown <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Visitors Centre; Floor To Kitchen Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028095(L2) Client No.: ASB16c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Black Mastic Client Description: Vinyl Tile 12X12 Brown <u>Percent Non-Asbestos Fibrous Material:</u> 1 Cellulose	Location: Visitors Centre; Floor To Kitchen Facility: <u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028096 Client No.: ASB17a <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Senice; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028097 Client No.: ASB17b <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Library; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028098 Client No.: ASB17c <u>Percent Asbestos:</u> <i>None Detected</i>	Analyst Observation: Tan Mastic Client Description: Carpet Adhesive Yellow <u>Percent Non-Asbestos Fibrous Material:</u> None Detected	Location: Offices; Below Carpet Facility: <u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Ellen Smith

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028099 Client No.: ASB18a	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Storage; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028100 Client No.: ASB18b	Analyst Observation: Off-White Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Kitchen; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028101 Client No.: ASB18c	Analyst Observation: Grey Floor Tile Client Description: Vinyl Tile 12"X12" Grey	Location: Wash; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028101(L2) Client No.: ASB18c	Analyst Observation: Black/White Mastic/Leveling Compound Client Description: Vinyl Tile 12"X12" Grey	Location: Wash; Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028102 Client No.: ASB19a	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; Ceiling Inside of Lobby Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028103 Client No.: ASB19b	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; North Glass Entrance Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028104 Client No.: ASB19c	Analyst Observation: White Texture Client Description: Plaster White	Location: Entrance; South Side Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028105 Client No.: ASB20a	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: Attic; Duct Work Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028106 Client No.: ASB20b	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: Janitor; Duct Work To The West Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028107 Client No.: ASB20c	Analyst Observation: Yellow Foam Client Description: Duct Insulation Yellow	Location: hatch; Around Duct Work Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028108 Client No.: ASB21a	Analyst Observation: Yellow Mastic Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028108(L2) Client No.: ASB21a	Analyst Observation: Red Floor Tile Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature:
Analyst: Sarah Lipiecki

Approved By:
Frank E. Ehrenfeld, III
Laboratory Director

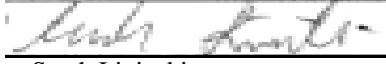
CERTIFICATE OF ANALYSIS

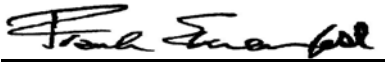
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028108(L3) Client No.: ASB21a	Analyst Observation: Yellow Mastic Client Description: Vinyl Tile White	Location: Library; Under Carpeting In Northwest Corner Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028109 Client No.: ASB21b	Analyst Observation: Tan Floor Tile Client Description: Vinyl Tile White	Location: Offices; Northwest Facility:
<u>Percent Asbestos:</u> <i>PC 4.0 Chrysotile</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 96
Lab No.: 7028110 Client No.: ASB21c	Analyst Observation: Sample Not Analyzed Client Description: Vinyl Tile White	Location: Offices; Northwest Facility:
<u>Percent Asbestos:</u> <i>Sample Not Analyzed</i>	<u>Percent Non-Asbestos Fibrous Material:</u> Sample Not Analyzed	<u>Percent Non-Fibrous Material:</u>
Lab No.: 7028111 Client No.: ASB22a	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028112 Client No.: ASB22b	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028113 Client No.: ASB22c	Analyst Observation: Red Sealant Client Description: Caulking Red	Location: Hatch; Around Vent Above CT Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

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Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028114 Client No.: ASB23a	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Cellulose	<u>Percent Non-Fibrous Material:</u> 75

Lab No.: 7028115 Client No.: ASB23b	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 20 Cellulose	<u>Percent Non-Fibrous Material:</u> 80


Lab No.: 7028116 Client No.: ASB23c	Analyst Observation: Black Tar Client Description: Tar Black	Location: Hatch; Layer 1 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Cellulose	<u>Percent Non-Fibrous Material:</u> 75

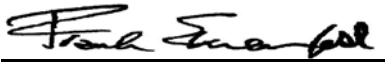
Lab No.: 7028117 Client No.: ASB24a	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

Lab No.: 7028118 Client No.: ASB24b	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

Lab No.: 7028119 Client No.: ASB24c	Analyst Observation: Brown Fiberboard Client Description: Fiberboard Brown	Location: Hatch; Layer 2 Down In #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 90 Cellulose	<u>Percent Non-Fibrous Material:</u> 10

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Signature: 
Analyst: Sarah Lipiecki

Approved By: 
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Laboratory Director


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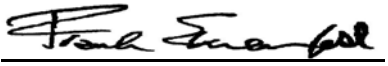
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Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028120 Client No.: ASB25a	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028121 Client No.: ASB25b	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028122 Client No.: ASB25c	Analyst Observation: Black Felt Client Description: Felt/Tar Paper Black	Location: Hatch; Layer 3 Down #13 Hatch Floor Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 50 Cellulose	<u>Percent Non-Fibrous Material:</u> 50
Lab No.: 7028123 Client No.: ASB26a	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028123(L2) Client No.: ASB26a	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028123(L3) Client No.: ASB26a	Analyst Observation: White Drywall Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 8 Cellulose	<u>Percent Non-Fibrous Material:</u> 92

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Laboratory Director

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Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028124 Client No.: ASB26b	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028124(L2) Client No.: ASB26b	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

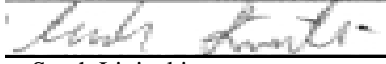
Lab No.: 7028124(L3) Client No.: ASB26b	Analyst Observation: White Drywall Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 8 Cellulose	<u>Percent Non-Fibrous Material:</u> 92

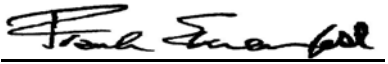
Lab No.: 7028125 Client No.: ASB26c	Analyst Observation: White Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028125(L2) Client No.: ASB26c	Analyst Observation: Grey Plaster Client Description: Plaster Grey	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Lab No.: 7028126 Client No.: ASB27a	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 10 Cellulose	<u>Percent Non-Fibrous Material:</u> 90

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

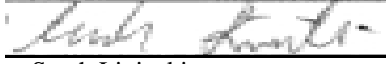
CERTIFICATE OF ANALYSIS

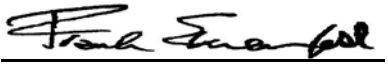
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028127 Client No.: ASB27b	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 9 Cellulose	<u>Percent Non-Fibrous Material:</u> 91
Lab No.: 7028128 Client No.: ASB27c	Analyst Observation: White Drywall Client Description: Drywall (Grey)	Location: Closet; Ceiling Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 7 Cellulose	<u>Percent Non-Fibrous Material:</u> 93
Lab No.: 7028129 Client No.: ASB28a	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Multi Use Bathroom Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028129(L2) Client No.: ASB28a	Analyst Observation: White Joint Compound Client Description: Caulking White	Location: Washrooms; Multi Use Bathroom Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028130 Client No.: ASB28b	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Men's Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028131 Client No.: ASB28c	Analyst Observation: White Caulk Client Description: Caulking White	Location: Washrooms; Women's Sink Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

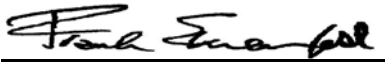
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028132 Client No.: ASB29a	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028133 Client No.: ASB29b	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028134 Client No.: ASB29c	Analyst Observation: Grey Caulk Client Description: Caulking Grey	Location: Wash; Around Tile WW Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028135 Client No.: ASB30a	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 70
Lab No.: 7028135(L2) Client No.: ASB30a	Analyst Observation: Black Tar Client Description: Shingles	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028136 Client No.: ASB30b	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 25 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 75

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS

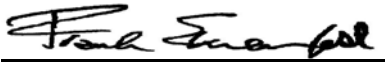
Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028137 Client No.: ASB30c	Analyst Observation: Black Shingle Client Description: Shingles	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 30 Fibrous Glass	<u>Percent Non-Fibrous Material:</u> 70
Lab No.: 7028138 Client No.: ASB31a	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028138(L2) Client No.: ASB31a	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Attic Through Room #1 Vent Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> 6 Cellulose	<u>Percent Non-Fibrous Material:</u> 94
Lab No.: 7028139 Client No.: ASB31b	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028139(L2) Client No.: ASB31b	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028140 Client No.: ASB31c	Analyst Observation: Black Vapor Barrier Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director


CERTIFICATE OF ANALYSIS


Client: EnGlobe Corp 2-120 Progress Court North Bay ON P1B 8G4	Report Date: 7/6/2020 Report No.: 615709 - PLM Project: DSS Kearny Community Project No.: P-0022663-0-00-200-01
Client: MER575	

PLM BULK SAMPLE ANALYSIS SUMMARY

Lab No.: 7028140(L2) Client No.: ASB31c	Analyst Observation: Black Tar Client Description: Vapor Barrier	Location: Ext; Overhang Of Visitor Centre Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028141 Client No.: ASB32a	Analyst Observation: Grey Caulk Client Description: Caulking Brown	Location: Ext; North Side Facility:
<u>Percent Asbestos:</u> <i>PC 0.5 Chrysotile</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 99.5
Lab No.: 7028142 Client No.: ASB32b	Analyst Observation: Grey Caulk Client Description: Caulking Brown	Location: Ext; East Side Facility:
<u>Percent Asbestos:</u> <i>PC 1.0 Chrysotile</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 99
Lab No.: 7028142(L2) Client No.: ASB32b	Analyst Observation: Blue Foam Client Description: Caulking Brown	Location: Ext; East Side Facility:
<u>Percent Asbestos:</u> <i>None Detected</i>	<u>Percent Non-Asbestos Fibrous Material:</u> None Detected	<u>Percent Non-Fibrous Material:</u> 100
Lab No.: 7028143 Client No.: ASB32c	Analyst Observation: Sample Not Analyzed Client Description: Caulking Brown	Location: Ext Facility:
<u>Percent Asbestos:</u> <i>Sample Not Analyzed</i>	<u>Percent Non-Asbestos Fibrous Material:</u> Sample Not Analyzed	<u>Percent Non-Fibrous Material:</u>

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/06/2020
Signature: 
Analyst: Sarah Lipiecki

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

Appendix to Analytical Report

Customer Contact: Sonya Clelland

Method: 40 CFR Appendix E to Subpart E of Part 763, interim method for the Determination of Asbestos in Bulk Insulation Samples, and USEPA 600, R93-116 as needed.

This appendix seeks to promote greater understanding of any observations, exceptions, special instructions, or circumstances that the laboratory needs to communicate to the client concerning the above samples. The information below is used to help promote your ability to make the most informed decisions for you and your customers. Please note the following points of contact for any questions you may have.

iATL Customer Service: customerservice@iatl.com

iATL Office Manager: wchampion@iatl.com

iATL Account Representative: Kelly Klippel

Sample Login Notes: See Batch Sheet Attached

Sample Matrix: Bulk Building Materials

Exceptions Noted: See Following Pages

General Terms, Warrants, Limits, Qualifiers:

General information about iATL capabilities and client/laboratory relationships and responsibilities are spelled out in iATL policies that are listed at www.iATL.com and in our Quality Assurance Manual per ISO 17025 standard requirements. The information therein is a representation of iATL definitions and policies for turnaround times, sample submittal, collection media, blank definitions, quantification issues and limit of detection, analytical methods and procedures, sub-contracting policies, results reporting options, fees, terms, and discounts, confidentiality, sample archival and disposal, and data interpretation.

iATL warrants the test results to be of a precision normal for the type and methodology employed for each sample submitted. iATL disclaims any other warrants, expressed or implied, including warranty of fitness for a particular purpose and warranty of merchantability. iATL accepts no legal responsibility for the purpose for which the client uses test results. Any analytical work performed must be governed by our Standard Terms and Conditions. Prices, methods and detection limits may be changed without notification. Please contact your Customer Service Representative for the most current information.

This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAP, AIHA LAP LLC, or any agency of local, state or province governments nor of any agency of the U.S. government.

This report shall not be reproduced except in full, without written approval of the laboratory.

Information Pertinent to this Report:

Analysis by US EPA 600 93-116: Determination of Asbestos in Bulk Building Materials by Polarized Light Microscopy (PLM).

Certifications:

- NIST-NVLAP No. 101165-0
- NYSDOH-ELAP No. 11021
- AIHA-LAP, LLC No. 100188

Quantification at <0.25% by volume is possible with this method. (PC) Indicates Stratified Point Count Method performed. (PC-Trace) means that asbestos was detected but is not quantifiable under the Point Counting regimen. PC Trace represents a <0.25% amount. Analysis includes all distinct separable layers in accordance with EPA 600 Method. If not reported or otherwise noted, layer is either not present or the client has specifically requested that it not be analyzed (ex. analyze until positive instructions). Small asbestos fibers may be missed by PLM due to resolution limitations of the optical microscope. Therefore, PLM is not consistently reliable in detecting asbestos in non-friable organically bound (NOB) materials. Quantitative transmission electron microscopy (TEM) is currently the only method that can pronounce materials as non-asbestos containing.

Analytical Methodology Alternatives: Your initial request for analysis may not have accounted for recent advances in regulatory requirements or advances in technology that are routinely used in similar situations for other qualified projects. You may have the option to explore additional analysis for further information. Below are a few options, listed as the matrix followed by the appropriate methodology. Also included are links to more information on our website.

Bulk Building Materials that are Non-Friable Organically Bound (NOB) by Gravimetric Reduction techniques employing PLM and TEM: ELAP 198.6 (PLM-NOB), ELAP 198.4 (TEM-NOB)

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

Loose Fill Vermiculite Insulation, Attic Insulation, Zonolite (copyright), etc.: US EPA 600 R-4/004 (multi-tiered analytical process)
Sprayed On Insulation/Fireproofing with Vermiculite (SOF-V): ELAP 198.8 (PLM-SOF-V)

Soil, sludge, sediment, aggregate, and like materials analyzed for asbestos or other elongated mineral particles (ex. erionite, etc.): ASTM D7521, CARB 435, and other options available

Asbestos in Surface Dust according to one of ASTM's Methods (very dependent on sampling collection technique – by TEM): ASTM D 5755, D5756, or D6480

Various other asbestos matrices (air, water, etc.) and analytical methods are available.

Disclaimers / Qualifiers:

There may be some samples in this project that have a "NOTE:" associated with a sample result. We use added disclaimers or qualifiers to inform the client about something that requires further explanation. Here is a list with highlighted disclaimers that may be pertinent to this project. For a full explanation of these and other disclaimers, please inquire at customerservice@iatl.com.

- 1) Note: No mastic provided for analysis.
- 2) Note: Insufficient mastic provided for analysis.
- 3) Note: Insufficient material provided for analysis.
- 4) Note: Insufficient sample provided for QC reanalysis.
- 5) Note: Different material than indicated on Sample Log / Description.
- 6) Note: Sample not submitted.
- 7) Note: Attached to asbestos containing material.
- 8) Note: Received wet.
- 9) Note: Possible surface contamination.
- 10) Note: Not building material. 1% threshold may not apply.
- 11) Note: Recommend TEM-NOB analysis as per EPA recommendations.
- 12) Note: Asbestos detected but not quantifiable.
- 13) Note: Multiple identical samples submitted, only one analyzed.
- 14) Note: Analyzed by EPA 600/R-93/116. Point Counting detection limit at 0.080%.
- 15) Note: Analyzed by EPA 600/R-93/116. Point Counting detection limit at 0.125%.
- 16) Note: This sample contains >10% vermiculite mineral. See Appendix for Recommendations for Vermiculite Analysis.

Recommendations for Vermiculite Analysis:

Several analytical protocols exist for the analysis of asbestos in vermiculite. These analytical approaches vary depending upon the nature of the vermiculite mineral being tested (e.g. un-processed gänge, homogeneous exfoliated books of mica, or mixed mineral composites). Please contact your client representative for pricing and turnaround time options available.

iATL recommends initial testing using the EPA 600/R-93/116 method. This method is specifically designed for the analysis of asbestos in bulk building materials. It provides an acceptable starting point for primary screening of vermiculite for possible asbestos.

Results from this testing may be inconclusive. EPA suggests proceeding to a multi-tiered analysis involving wet separation techniques in conjunction with PLM and TEM gravimetric analysis (EPA 600/R-04/004).

For New York State customers, NYSDOH requires disclaimers and qualifiers for various vermiculite containing samples that direct analysis via ELAP198.6 and ELAP198.8 for samples that contain >10% vermiculite mineral where ELAP198.6 may be used to evaluate the asbestos content of the material. However, any test result using ELAP198.6 will be reported with the following disclaimer: "ELAP198.6 method does not remove vermiculite and may underestimate the level of asbestos present in a sample containing >10% vermiculite."

Further information on this method and other vermiculite and asbestos issues can be found at the following: Agency for Toxic Substances and Disease Registry (ATSDR) www.atsdr.cdc.gov, United States Geological Survey (USGS) www.minerals.usgs.gov/minerals/, US EPA www.epa.gov/asbestos. The USEPA also has an informative brochure "Current Best Practices for Vermiculite Attic Insulation" EPA 747F03001 May 2003, that may assist the health and remediation professional. NYS customers please follow current NYSDOH ELAP requirements per policy on subject of surfacing and vermiculite, May 6, 2016, Testing Requirements for Surfacing Material Containing Vermiculite (https://www.wadsworth.org/sites/default/files/WebDoc/I198_8_02_2.pdf)

The following is a summary of the analytical process outlines in the EPA 600/R-04/004 Method:

- 1) **Analytical Step/Method:** Initial Screening by PLM, EPA 600R-93/116
Requirements/Comments: Minimum of 0.1 g of sample. ~0.25% for most samples.

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/6/2020
Report No.: 615709 - PLM
Project: DSS Kearny Community
Project No.: P-0022663-0-00-200-01

2)**Analytical Step/Method:** Wet Separation by PLM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Sinks" only.

3)**Analytical Step/Method:** Wet Separation by PLM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Floats" only.

4)**Analytical Step/Method:** Wet Separation by TEM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Sinks" only.

5)**Analytical Step/Method:** Wet Separation by TEM Gravimetric Technique, EPA R-04/004
Requirements/Comments: Minimum 50g** of dry sample. Analysis of "Suspension" only.
*With advance notice and confirmation by the laboratory.

**Approximately 1 Liter of sample in double-bagged container (~9x6 inch bag of sample).

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

LEAD PAINT SAMPLE ANALYSIS SUMMARY

Lab No.: 7027927 **Description:** Grey **Result (% by Weight):** <0.0077
Client No.: PB01 **Location:** Gym Stage South **Result (ppm):** <77
Comments:

Lab No.: 7027928 **Description:** White **Result (% by Weight):** <0.0066
Client No.: PB02 **Location:** Gym Ceiling **Result (ppm):** <66
Comments:

Lab No.: 7027929 **Description:** Yellow **Result (% by Weight):** <0.0071
Client No.: PB03 **Location:** Hot H2O Tank South Wall **Result (ppm):** <71
Comments: ***

Lab No.: 7027930 **Description:** Beige **Result (% by Weight):** <0.0078
Client No.: PB04 **Location:** Kitchen East Wall **Result (ppm):** <78
Comments: ***

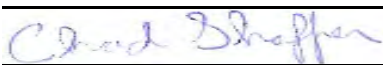
Lab No.: 7027931 **Description:** Pale Green **Result (% by Weight):** <0.0066
Client No.: PB05 **Location:** East Wall **Result (ppm):** <66
Comments:


Lab No.: 7027932 **Description:** Grey **Result (% by Weight):** 0.28
Client No.: PB06 **Location:** Closet Floor **Result (ppm):** 2800
Comments:

Lab No.: 7027933 **Description:** Dark Beige **Result (% by Weight):** <0.0042
Client No.: PB07 **Location:** Wash Door Frame **Result (ppm):** <42
Comments:

Lab No.: 7027934 **Description:** Brown **Result (% by Weight):** <0.0063
Client No.: PB08 **Location:** Ext Post **Result (ppm):** <63
Comments: ***

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/08/2020
Signature: 
Analyst: Chad Shaffer

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

Client: MER575


LEAD PAINT SAMPLE ANALYSIS SUMMARY


Lab No.: 7027935
Client No.: PB09

Description: Brown
Location: Ext Trim

Result (% by Weight): <0.0082
Result (ppm): <82
Comments: ***

Please refer to the Appendix of this report for further information regarding your analysis.

Date Received: 6/30/2020
Date Analyzed: 07/08/2020
Signature: 
Analyst: Chad Shaffer

Approved By: 
Frank E. Ehrenfeld, III
Laboratory Director

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

Appendix to Analytical Report:

Customer Contact: Sonya Clelland

Method: ASTM D3335-85a, US EPA SW846 3050B:7000B

This appendix seeks to promote greater understanding of any observations, exceptions, special instructions, or circumstances that the laboratory needs to communicate to the client concerning the above samples. The information below is used to help promote your ability to make the most informed decisions for you and your customers. Please note the following points of contact for any questions you may have.

iATL Customer Service: customerservice@iatl.com

iATL Office Manager: wchampion@iatl.com

iATL Account Representative: Kelly Klippel

Sample Login Notes: See Batch Sheet Attached

Sample Matrix: Paint

Exceptions Noted: See Following Pages

General Terms, Warrants, Limits, Qualifiers:

General information about iATL capabilities and client/laboratory relationships and responsibilities are spelled out in iATL policies that are listed at www.iATL.com and in our Quality Assurance Manual per ISO 17025 standard requirements. The information therein is a representation of iATL definitions and policies for turnaround times, sample submittal, collection media, blank definitions, quantification issues and limit of detection, analytical methods and procedures, sub-contracting policies, results reporting options, fees, terms, and discounts, confidentiality, sample archival and disposal, and data interpretation.

iATL warrants the test results to be of a precision normal for the type and methodology employed for each sample submitted. iATL disclaims any other warrants, expressed or implied, including warranty of fitness for a particular purpose and warranty of merchantability. iATL accepts no legal responsibility for the purpose for which the client uses test results. Any analytical work performed must be governed by our Standard Terms and Conditions. Prices, methods and detection limits may be changed without notification. Please contact your Customer Service Representative for the most current information.

This confidential report relates only to those item(s) tested and does not represent an endorsement by NIST-NVLAP, AIHA LAP LLC, or any agency of local, state or province governments nor of any agency of the U.S. government.

This report shall not be reproduced except in full, without written approval of the laboratory.

Information Pertinent to this Report:

Analysis by ASTM D3335-85a by AAS

Certification:

- National Lead Laboratory Program (NLLAP): AIHA-LAP, LLC No. 100188

- NYSDOH-ELAP No. 11021

This report meets the standards set forth in the EPA's National Lead Laboratory Accreditation Program (NLLAP) through the Laboratory Quality System Requirements (LQSR) Revision 3.0 November 5, 2007. All Environmental Lead Proficiency Analytical Testing (ELPAT) is through the AIHA-PAT established program.

Regulatory limit is 0.5% lead by weight (EPA/HUD guidelines). Recommend multiple sampling for all samples less than regulatory limit for confirmation. All results are based on the samples as received at the lab. iATL assumes that appropriate sampling methods have been used and that the data upon which these results are based have been accurately supplied by the client.

Method Detection Limit (MDL) per EPA Method 40CFR Part 136 Appendix B.

Reporting Limit (RL) based upon Lowest Standard Determined (LSD) in accordance with AIHA-ELLAP policies.

LSD=0.2 ppm MDL=0.005% by weight. RL= 0.010% by weight (based upon 100 mg sampled).

Disclaimers / Qualifiers:

There may be some samples in this project that have a "NOTE:" associated with a sample result. We use added disclaimers or qualifiers to inform the client about something that requires further explanation. Here is a complete list with highlighted disclaimers pertinent to this project. For a full explanation of these and other disclaimers, please inquire at customerservice@iatl.com.

CERTIFICATE OF ANALYSIS

Client: EnGlobe Corp
2-120 Progress Court
North Bay ON P1B 8G4

Client: MER575

Report Date: 7/8/2020
Report No.: 615704 - Lead Paint
Project: DSS Kearney Community Centre
Project No.: P-0022663-0-00-200-01

- * Insufficient sample provided to perform QC reanalysis (<200 mg)
- ** Not enough sample provided to analyze (<50 mg)
- *** Matrix / substrate interference possible.

< less than sign, signifies none-detected below the empirical value based upon sub-sampled mass. This is often below the Reporting Limit (see above).

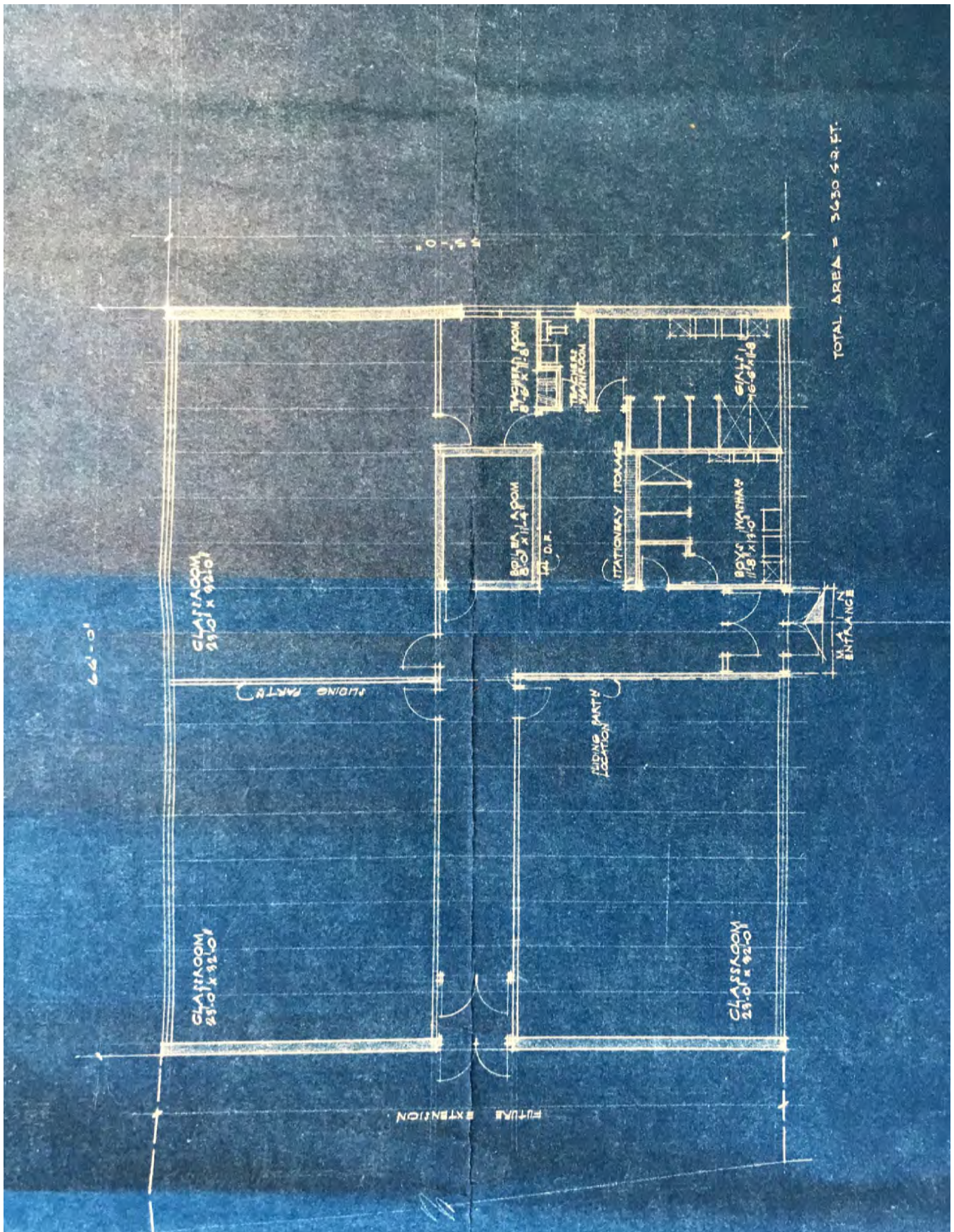


APPENDIX B

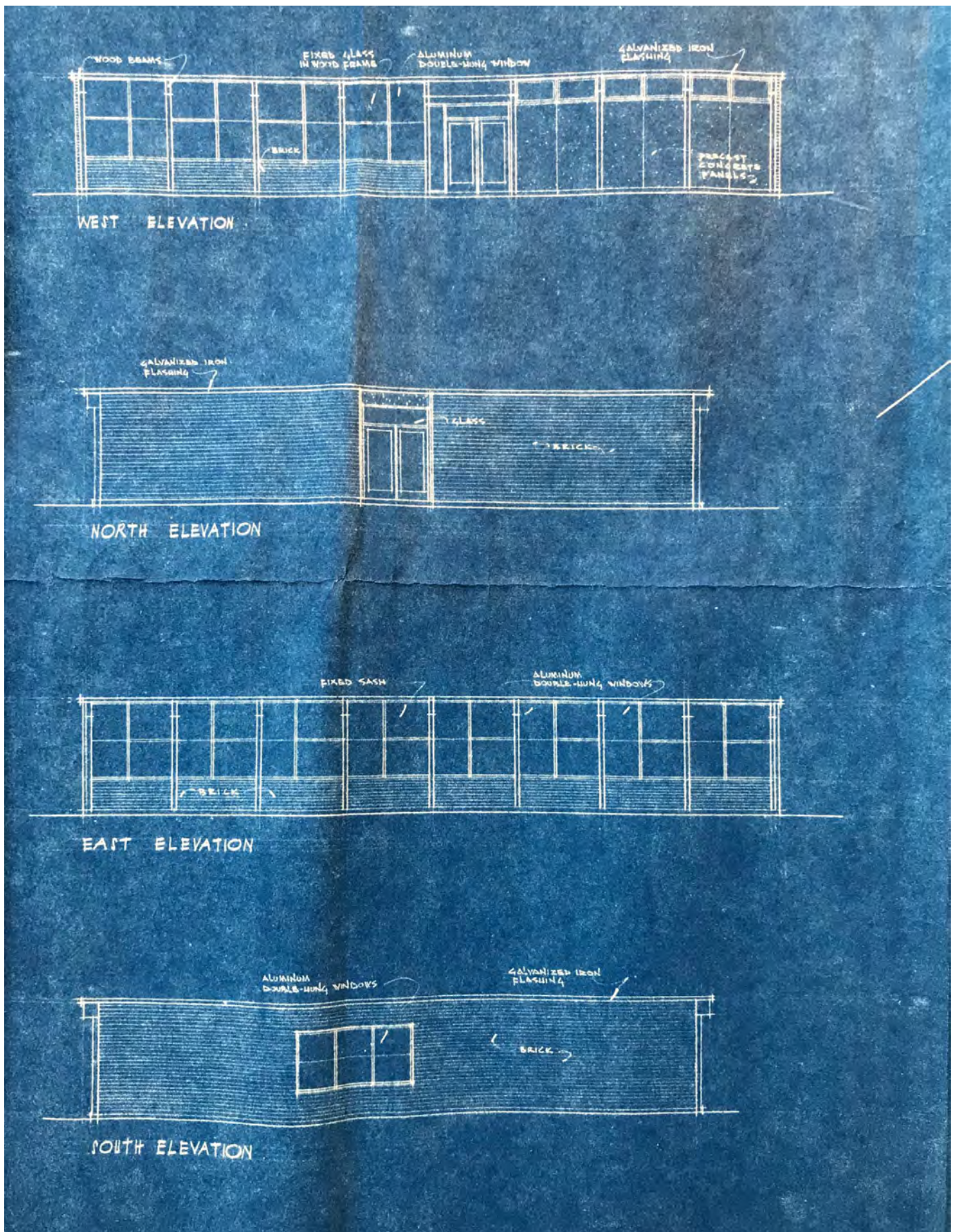
Original 1953 Kearney Public School Drawings



Original 1953 Kearney Public School - Site Plan by Weir and Cripps Architects, Toronto, ON



Original 1953 Kearney Public School - Main Floor Plan by Weir and Cripps Architects, Toronto, ON



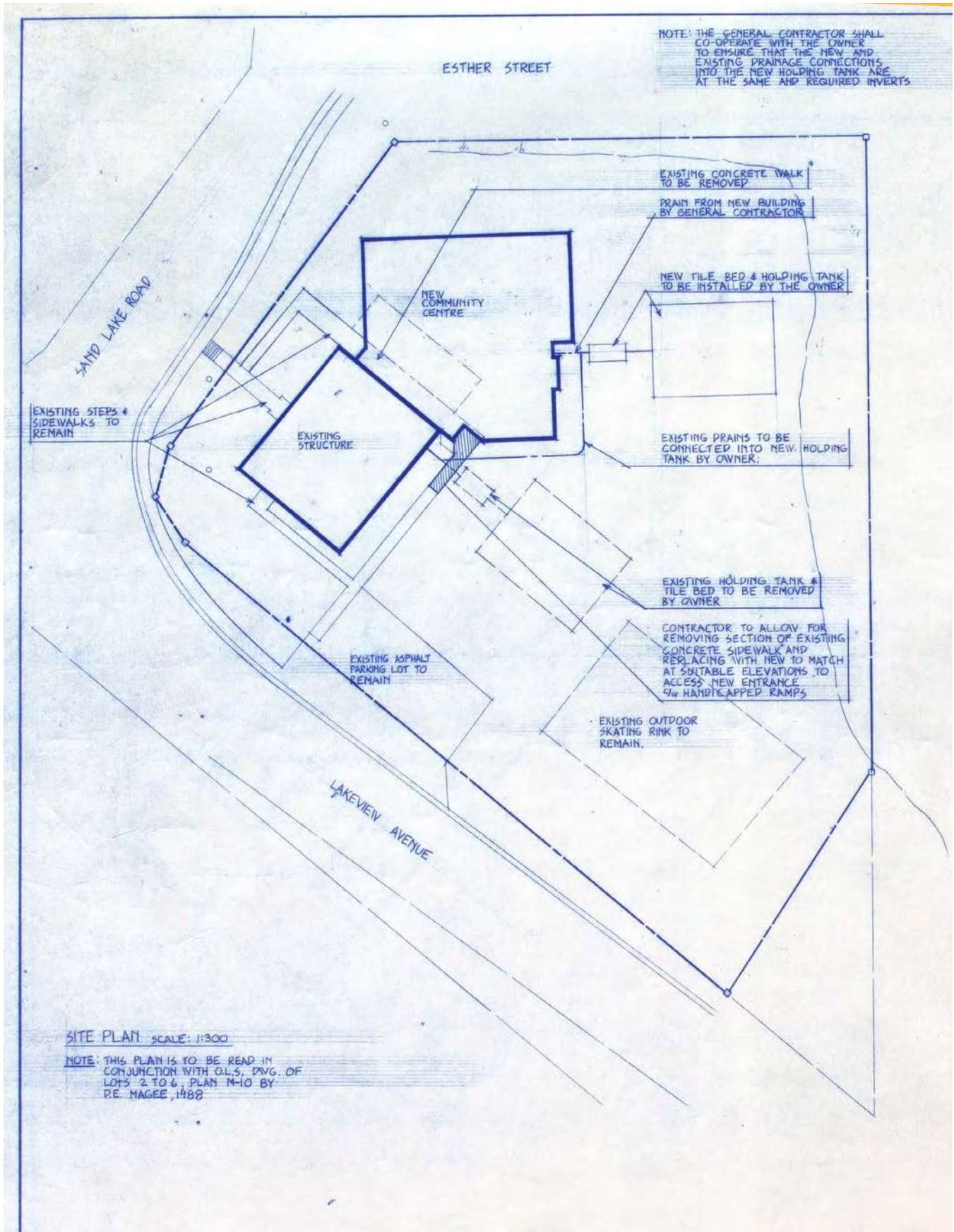
Original 1953 Kearney Public School - Building Elevations by Weir and Cripps Architects, Toronto, ON



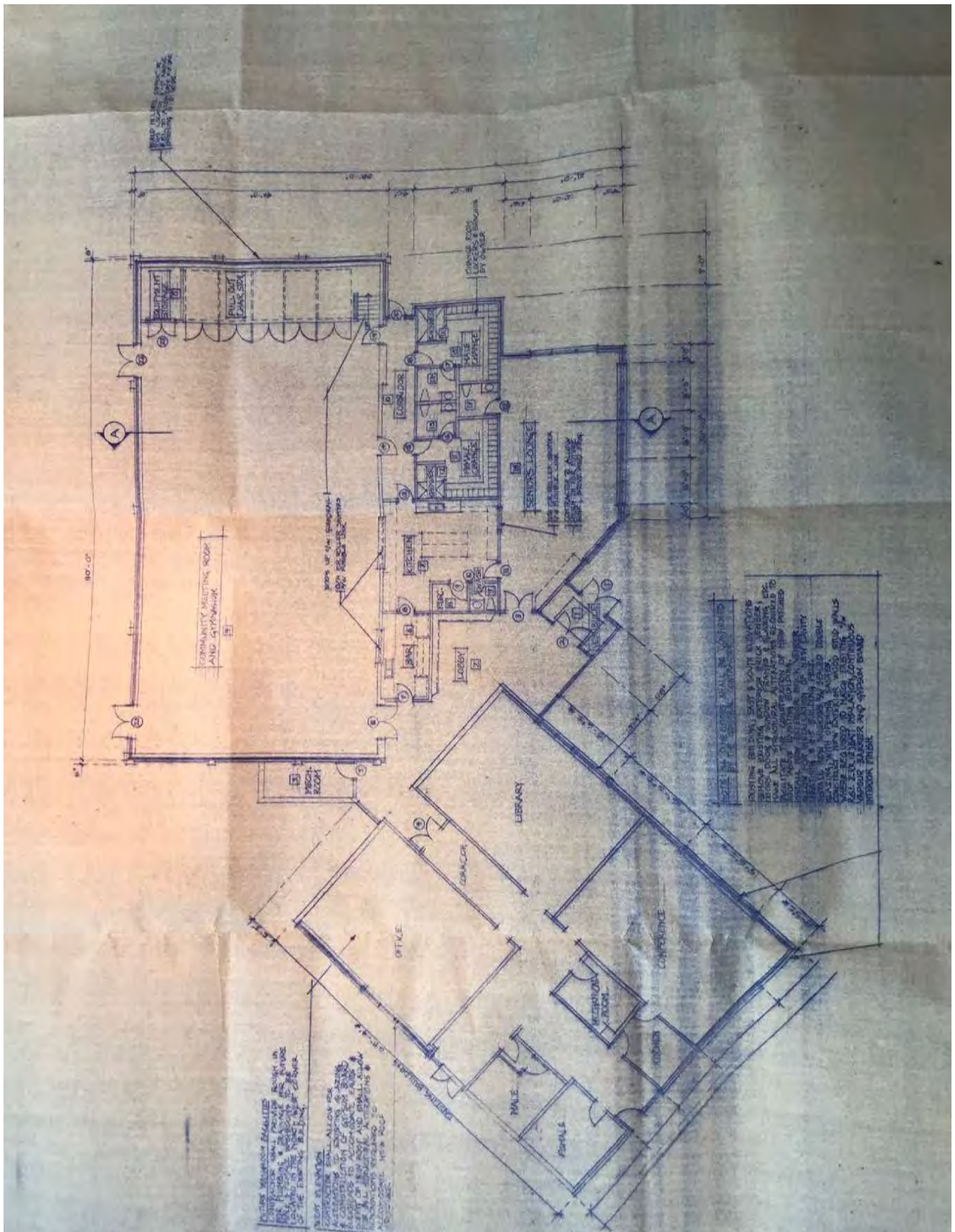
Original 1953 Kearney Public School - Typical Title Block by Weir and Cripps Architects, Toronto, ON

APPENDIX C

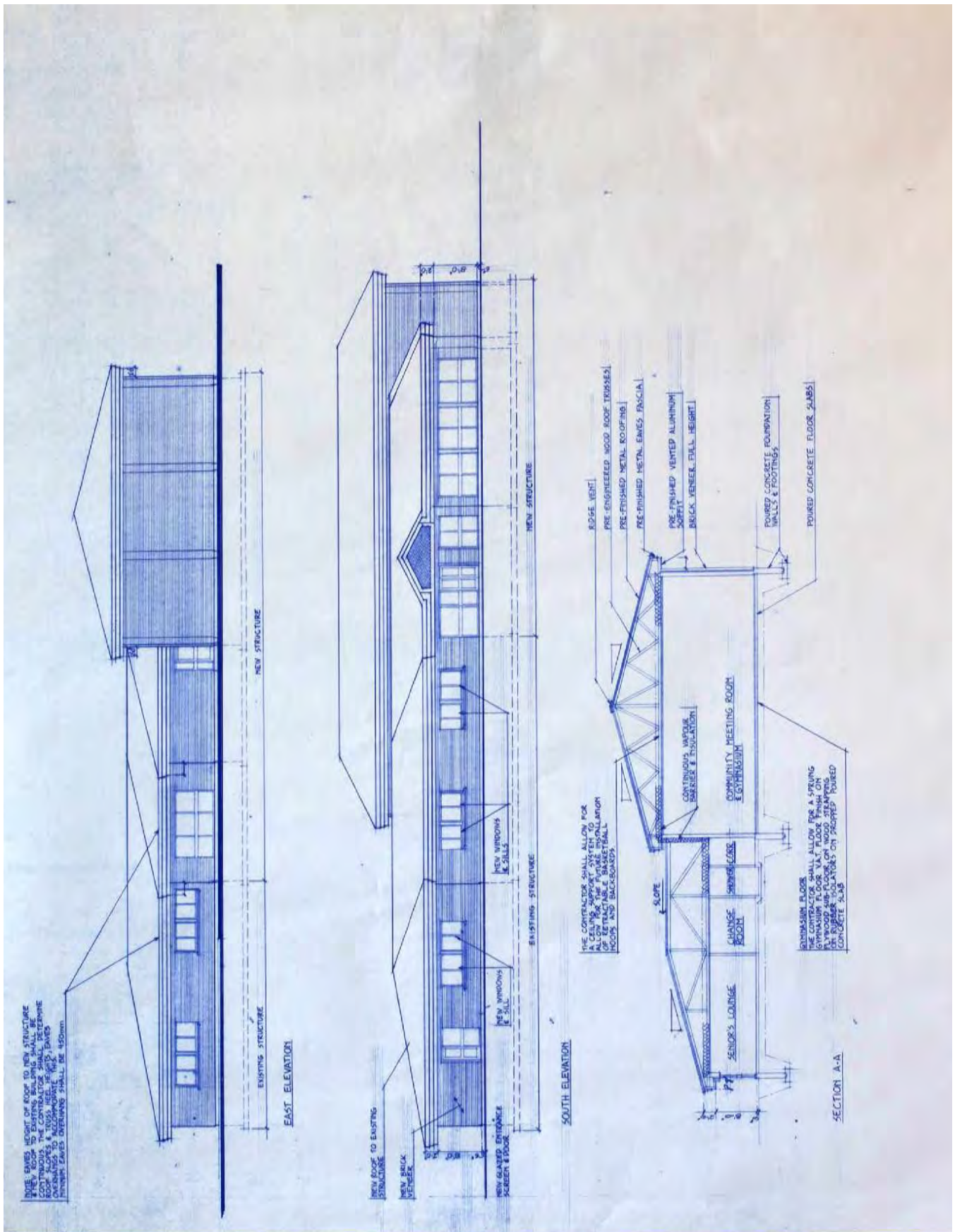
Original 1989 Kearney Municipal Building Drawings



Original 1989 Kearney Municipal Building - Site Plan by Osburn Cotnam Associates Architects Inc, Timmins, ON



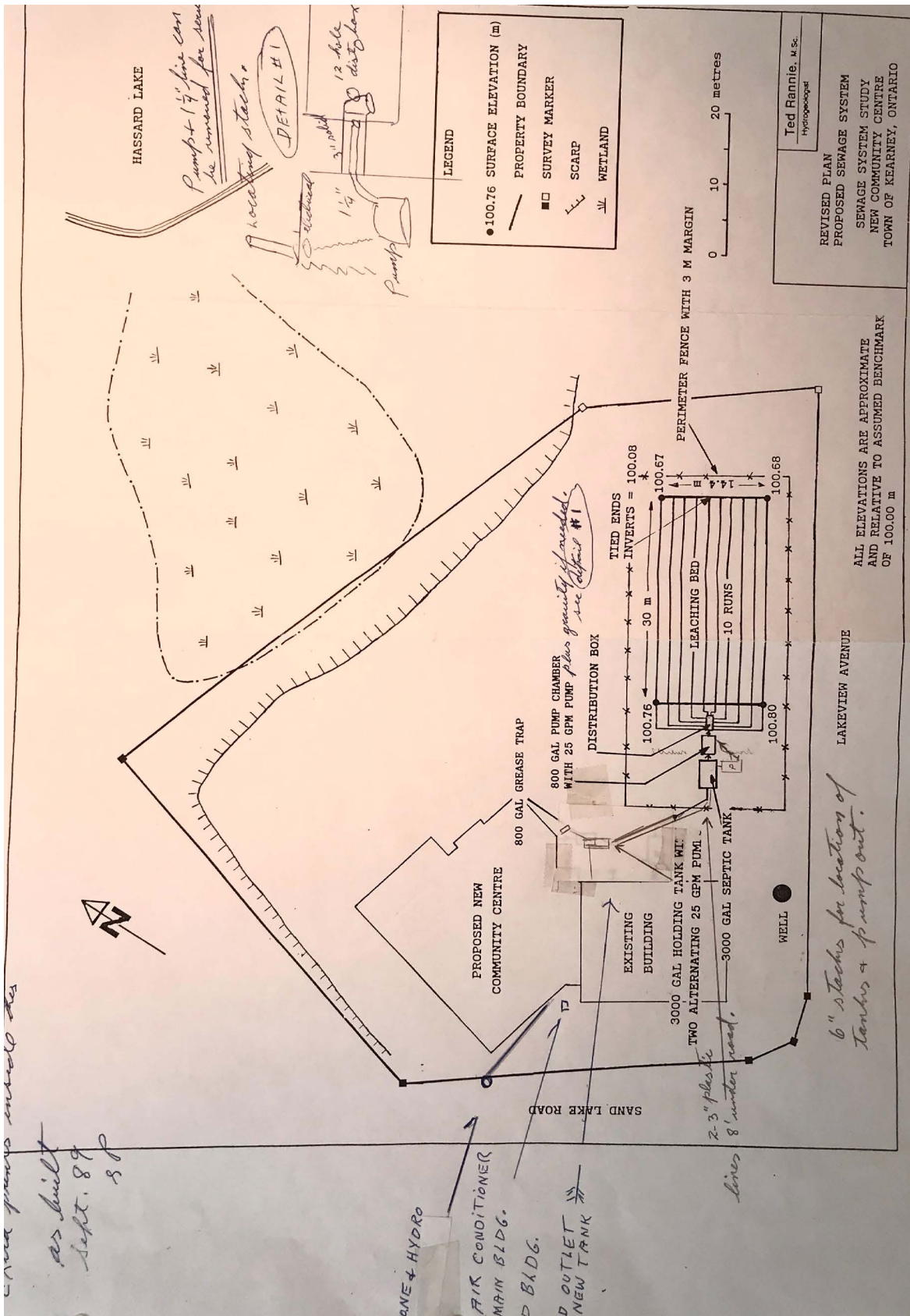
Original 1989 Kearney Municipal Building - Main Floor Plan by Osburn Cotnam Associates Architects Inc, Timmins, ON



Original 1989 Kearney Municipal Building - Building Elevations by Osburn Cotnam Associates Architects Inc, Timmins, ON

APPENDIX D

Original 1989 Proposed Sewage System Documents



Original 1989 Kearney Municipal Building - Proposed Sewage System Plan by Ted Rannie, M.Sc., Hydro-geologist

ENVIRONMENTAL ASSESSMENT

Installation of a Class 4 - Subsurface Sewage Disposal System

**UNDER PART 7
ENVIRONMENT PROTECTION ACT**

**PUBLIC COMMENT
NOW BEING ACCEPTED**

August 16, 1989

Town of Kearney

As a requirement under Ontario's Environmental Assessment Act, the Town of Kearney hereby notifies all interested individuals and parties that subject to the comments received as a result of this Notice and the receipt of other approvals as necessary, the Town of Kearney intends to proceed with the planning, design and construction of the above-mentioned project.

The purpose of the installation of a Class 4 sewage disposal system is to service a new community centre located in the Municipality. Estimated construction and design costs will be in the order of \$25,000.00. It is expected that this installation will be completed along with Ministry of the Environment approval by October 1989.

To see a copy of the Class Environmental Assessment, or for further information, contact:

Kearney Municipal Office
9 a.m. to 12 p.m. - 1 p.m. to 5 p.m.
Monday through Friday
(705) 636-7752

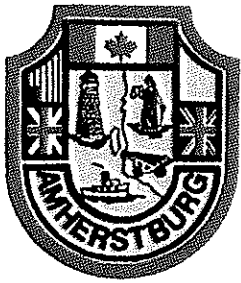
Interested individuals and parties have 30 calendar days from the date of this Notice to comment on the proposal. Comments must be made in writing and must be received by the Municipal Office by 4:30 p.m., Friday, September 15th, 1989.

If concerns regarding this project cannot be resolved, a person/party may request that the Minister of the Environment "bump-up" this project to an individual environmental assessment. Bump-up requests must be received by the above date and submitted to the address below. If there are no concerns expressed by the above date, the installation of the sewage disposal system will proceed.

The Honourable Jim Bradley
Minister of the Environment
135 St. Clair Ave. West
15th Floor
TORONTO, Ontario
M4V 1P5

34mc

Original 1989 Kearney Municipal Building - Request for Public Comment for Proposed Municipal Building Sewage System



The Corporation of The Town of Amherstburg

July 28, 2020

To: All Ontario Municipalities

VIA EMAIL

RE: Investing in Canada Infrastructure Program Grant

At its meeting of July 13th, 2020, Council passed the following resolution for your consideration:

That Administration BE DIRECTED to send correspondence in support of the Town of Renfrew's resolution regarding their request to fast track investing in Canada Infrastructure Program (ICIP) Grant Applications.

Enclosed is a copy of the Town of Renfrew's resolution for convenience and reference purposes.

Regards,

A handwritten signature in black ink, appearing to read 'T. Fowkes'.

Tammy Fowkes
Deputy Clerk, Town of Amherstburg
(519) 736-0012 ext. 2216
tfowkes@amherstburg.ca

cc:

The Right Honourable Justin Trudeau, Prime Minister of Canada
Email: justin.trudeau@parl.gc.ca

Honourable Doug Ford, Premier of Ontario
Email: premier@ontario.ca

Taras Natyshak, MPP
Email: tnayshak-qp@ndp.on.ca

Chris Lewis, MP
Email: chris.lewis@parl.gc.ca

Robert Auger, Town Solicitor, Legal and Legislative Services/Clerk - Town of Essex
Email: rauger@essex.ca

Jennifer Astrologo, Director of Corporate Services/Clerk - Town of Kingsville
Email: jastrologo@kingsville.ca

Agatha Robertson, Director of Council Services/Clerk - Town of LaSalle
Email: arobertson@lasalle.ca

Kristen Newman, Director of Legislative and Legal Services/Clerk - Town of Lakeshore
Email: knewman@lakeshore.ca

Brenda Percy, Municipal Clerk/Manager of Legislative Services - Municipality of Leamington
Email: bpercy@leamington.ca

Laura Moy, Director of Corporate Services/Clerk - Town of Tecumseh
Email: lmoy@tecumseh.ca

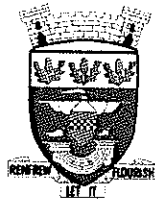
Mary Birch, Director of Council and Community Services/Clerk -County of Essex
Email: mbirch@countyofessex.ca

Valerie Critchley, City Clerk – City of Windsor
Email: clerks@citywindsor.ca

Association of Municipalities of Ontario (AMO)
Email: amo@amo.on.ca

Federation of Canadian Municipalities (FCM)
Email: info@fcm.ca

Rural Ontario Municipalities Association
Email: roma@roma.on.ca



CORPORATION OF THE TOWN OF RENFREW

RESOLUTION NO. 2020 - 06 - 44

Moved By: Reeve Emon
Seconded By: Councillor Jamieson

WHEREAS the COVID-19 pandemic crisis has had a catastrophic affect on employment and small business survival rates, with over 11.3% jobless rate in Ontario in April 2020 alone with only a few signs of a change over the next several fiscal periods;

AND WHEREAS the Renfrew County region is already at a distinct economic disadvantage due to a shorter infrastructure construction season and the lack of essential services, like effective and available broadband across its vast and rural area that would allow for greater flexibility to work from home, or telecommute;

AND WHEREAS the County of Renfrew and the other 19 municipalities and first nations reserves within the geographical borders have an incredible influence on the economy through investments in infrastructure spending, with over \$70million being invested in 2020 in municipal projects, but will now have to evaluate and adjust the way they safely operate and offer community services and modes of transportation;

AND WHEREAS the County of Renfrew and the other 19 municipalities and first nations reserves have submitted over \$73.5 million worth of applications to the *Investing in Canada Infrastructure Program: Community, Culture and Recreation Stream*, with all considered shovel ready and shovel worthy;

AND WHEREAS the County of Renfrew and the other 19 municipalities and first nations reserves have submitted previously over \$25million in the *Investing in Canada Infrastructure Program: Green Stream* and *Investing in Canada Infrastructure Program: Rural & Northern Stream*;

AND WHEREAS both large and small infrastructure projects have the immediate effect on local small and medium businesses in our region with consideration of the multiplier ratio on every \$1million invested having the ability to create 7.6 jobs in the local marketplace, meaning that approval of these projects would create over 1,200 jobs across Renfrew County;

NOW THEREFORE BE IT RESOLVED that the Council of the Town of Renfrew calls upon the Governments of Ontario and Canada to fast track the review of current and previous *Investing in Canada Infrastructure Program* grant applications in order to provide much needed employment and investment into rural Ontario to provide sustainable infrastructure that will be safe and suitable in a post-pandemic setting;

AND FURTHER THAT a copy of this resolution be circulated to the Right Honourable Prime Minister of Canada; the Honourable Premier of Ontario; MP Cheryl Gallant, Renfrew-Nipissing-Pembroke; the Honourable John Yakabuski, MPP Renfrew-Nipissing-Pembroke; the Minister of Infrastructure; the Association of Municipalities Ontario; Rural Ontario Municipalities Association and all Municipalities within the Province of Ontario.

- CARRIED -

I, Jennifer Charkavi, Deputy Clerk of the Corporation of the Town of Renfrew, do hereby certify this to be a true and complete copy of Resolution No. 2020 - 06 - 44, passed by the Council of the Corporation of the Town of Renfrew at its meeting held the 23rd day of June 2020.

DATED at Renfrew, Ontario
this 24th day of June 2020.

Jennifer Charkavi

Jennifer Charkavi



The Corporation of The
Town of Amherstburg

VIA EMAIL

To: All Ontario Municipalities

RE: Long Term Care Home Improvements

At its meeting of July 13th, 2020, Council passed the following resolution for your consideration:

That Administration BE DIRECTED to send correspondence in support of the City of Sarnia's resolution regarding their request for long term care home improvements.

Enclosed is a copy of the City of Sarnia's resolution for convenience and reference purposes.

Regards,

A handwritten signature in cursive script, appearing to read "T. Fowkes".

Tammy Fowkes
Deputy Clerk, Town of Amherstburg
(519) 736-0012 ext. 2216
tfowkes@amherstburg.ca

cc:

Doug Ford, Premier of Ontario
Email: premier@ontario.ca

Taras Natyshak, MPP
Email: tnayshak-qp@ndp.on.ca

Chris Lewis, MP
Email: chris.lewis@parl.gc.ca

Dianne Gould-Brown
City Clerk, City of Sarnia
Email: clerks@sarnia.ca

Robert Auger, Town Solicitor, Legal and Legislative Services/Clerk - Town of Essex
Email: rauger@essex.ca

Jennifer Astrologo, Director of Corporate Services/Clerk - Town of Kingsville
Email: jastrologo@kingsville.ca

Agatha Robertson, Director of Council Services/Clerk - Town of LaSalle
Email: arobertson@lasalle.ca

Kristen Newman, Director of Legislative and Legal Services/Clerk - Town of Lakeshore
Email: knewman@lakeshore.ca

Brenda Percy, Municipal Clerk/Manager of Legislative Services - Municipality of Leamington
Email: bpercy@leamington.ca

Laura Moy, Director of Corporate Services/Clerk - Town of Tecumseh
Email: lmoy@tecumseh.ca

Mary Birch, Director of Council and Community Services/Clerk -County of Essex
Email: mbirch@countyofessex.ca

Valerie Critchley, City Clerk – City of Windsor
Email: clerks@citywindsor.ca

Association of Municipalities of Ontario (AMO)
Email: amo@amo.on.ca



**THE CORPORATION OF THE CITY OF SARNIA
City Clerk's Office**

255 Christina Street N. PO Box 3018
Sarnia ON Canada N7T 7N2
519 332-0330 519 332-3995 (fax)
519 332-2664 (TTY)
www.sarnia.ca clerks@sarnia.ca

June 24, 2020

To: All Ontario Municipalities

Re: Long Term Care Home Improvements

At its meeting held on June 22, 2020, Sarnia City Council adopted the following resolution submitted by Councillor Margaret Bird with respect to the conditions in Long Term Care homes exposed by the pandemic:

That due to the deplorable conditions exposed by the pandemic in LTC homes in the province, and because this is a time for action, not just continuous streams of investigations, commissions and committees, and because the problems have been clearly identified, that Sarnia City Council direct staff to send this motion to the 444 Ontario Municipalities, asking them to urge Premier Ford to start implementing the required resolutions immediately, as follows:

- 1. increasing hours for all part-time and casual labour***
- 2. since the government provides funding for privately-operated homes, they have an obligation to inspect these homes and see that they are being properly run, and that funds are being used for the benefit of the residents and not the huge profitability of the operators, and***
- 3. to end the neglect and unacceptable conditions being experienced, each day, by our vulnerable seniors.***

Sarnia City Council respectfully seeks your endorsement of this resolution. If your municipal council endorses this resolution, we would request that a copy of the resolution be forwarded to the following:

Doug Ford, Premier of Ontario; and

City of Sarnia, City Clerk's Office
clerks@sarnia.ca

Sincerely,

A handwritten signature in cursive script that reads "Dianne Gould-Brown".

Dianne Gould-Brown
City Clerk

cc: AMO

Brenda Fraser

From: Susan Church <susan.church@blueskyregion.ca>
Sent: July 17, 2020 1:14 PM
To: Angela Friesen; Erica Kellogg; Dave Gray; Wendy Whitwell;
timbryson@townshipofjoly.com; Admin; mayorballantyne@gmail.com; Brenda Fraser;
'Bpaulmachar@Vianet. Ca'; 'Cheryl Marshall, Clerk';
norm.hofstetter@townshipofperry.ca; Beth.Morton@townshipofperry.ca; Ryerson
Township; mayor@strongtownship.com; clerk@strongtownship.com;
bandmanager@magnetawanfirstnation.com
Cc: Norm Miller; Scott.Aitchison@parl.gc.ca
Subject: Regional Broadband Project Update

I am hoping that this little update will find you all well and managing to enjoy the sun of summer! It's not our usual summer, but I do hope you are finding ways to enjoy time with family and friends.

I thought I would just bring you "up-to-speed" regarding our regional Broadband application.

As you know Blue Sky Net applied to the CRTC for a regional broadband project that includes each of your communities. We still have not heard about that application, and I don't expect to anytime soon. These wheels turn very slowly.

We will be applying to the newly announced Provincial ICON Broadband Fund. The application will go into their Intake - Phase One and we will see where it goes. The first Phase of this program will only provide 25% of the total funding and requires that applicants have the rest of the 75% already committed. That is not of course the case in our project, as the total project is \$6,485,730. and we need the Federal portion of funding to come in with the Province and the private sector provider.

I thank you for your past letters of support, but I do wonder if it will be possible to reiterate that support for this application to the province. The deadline for the ICON application is very near, on August 21 and I know that many of your Council meetings are reduced during the summer, but if, anyone is able to provide a letter of support on behalf of the community, that would be very helpful.

I have copied our MPP and MP on this update so that we can keep them in the loop.

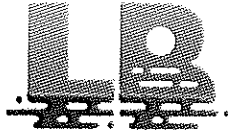
Have a wonderful weekend everyone and as always, if you have any questions please feel free to reach out to me.

Stay well,

Susan

--

Susan Church
Executive Director
Blue Sky Economic Growth Corporation
102-150 First Ave. West
North Bay, ON P1B 3B9
tel: (705) 476-0874 ext. 211
www.blueskynet.ca



**LAKE
OF BAYS**
• MUSKOKA •

T 705-635-2272
TF 1 877-566-0005
F 705-635-2132

TOWNSHIP OF LAKE OF BAYS
1012 Dwight Beach Rd
Dwight, ON P0A 1H0

July 21, 2020

Via email: info@pmcn.ca

Lance DeCaire, Chair
Stuart Morley, Executive Director
Parry Sound Muskoka Community Network
100 Muskoka Road South, Unit D
PO Box 524
Gravenhurst, ON P1P 1T8

Dear Mr. DeCaire and Mr. Morley:

**RE: Support in Principle for Muskoka Parry Sound Riding Cooperative
Broadband Initiative**

On behalf of the Council of the Corporation of the Township of Lake of Bays, please be advised that the following Notice of Motion was presented and passed at the last regularly scheduled Council meeting on July 21, 2020.

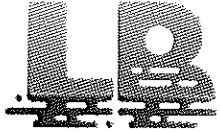
"Resolution #7(b)/07/21/20

WHEREAS the Township of Lake of Bays recognizes that there are homes and/or businesses in the municipality that do not have access to affordable, reliable and adequate broadband internet that meets national standards of at least 50mbps download and 10mbps upload;

AND WHEREAS the Township of Lake of Bays acknowledges that the availability of reliable broadband internet services to all residents and businesses throughout the municipality is critical to economic growth, social prosperity and community well-being;

AND WHEREAS the Township of Lake of Bays acknowledges recent pressures imposed by the COVID-19 pandemic on local governments to advocate for improved broadband availability to support functions such as: working from home, e-learning, remote and virtual healthcare services, and increased demand for in-home entertainment;

AND WHEREAS the Township of Lake of Bays is aware of the development of a Muskoka –Parry Sound Riding Cooperative Broadband Initiative focused on developing a model for a collective, multi-regional strategy for



**LAKE
OF BAYS**
• MUSKOKA •

T 705 635 2272
TF 1 877 566 0005
F 705 635-2132

TOWNSHIP OF LAKE OF BAYS
1012 Dwight Beach Rd
Dwight, ON P0A 1H0

creating and deploying broadband to all residents/businesses throughout both districts;

AND WHEREAS the Township of Lake of Bays has received and reviewed the Parry Sound Muskoka Community Network (PMCN) Broadband Gap Analysis Request for Proposal and recognizes its importance to the development of a larger broadband strategy;

AS WHEREAS the Township of Lake of Bays recognizes that this initiative relies on the partnership efforts of all affected municipalities, the Parry Sound Muskoka Community Network (PMCN), and other related partners and/or agencies;

THEREFORE BE IT RESOLVED THAT the Township of Lake of Bays hereby declares their support in principle for the Muskoka – Parry Sound Riding Cooperative Broadband Initiative to develop and implement a riding wide gap analysis and broadband strategy to ensure the availability of reliable broadband services to all residents/businesses within the Muskoka and Parry Sound Districts;

AND FURTHER THAT the Township of Lake of Bays recognizes the Parry Sound Muskoka Community Network as the project lead for the Muskoka Parry Sound Broadband Gap Analysis project on behalf of all project partners;

AND FURTHER THAT the Township of Lake of Bays wishes to be added to any communication lists for the initiative as to be kept informed of new developments and opportunities to provide support.

Carried"

Please contact the undersigned should you have any questions.

Sincerely,

Carrie Sykes, *Dipl. M.A., CMO, AOMC,*
Director of Corporate Services/Clerk.

Cc: MP, Scott Aitchison
MPP, Norm Miller
Municipalities in Muskoka and Parry Sound Districts

Brenda Fraser

Subject: FW: Oversight Boards for OPP Detachments

From: Rebecca Johnson <rjohnson@townofparrysound.com>
Sent: July 22, 2020 1:11 PM
To: Federation of Northern Ontario Municipalities (fonom.info@gmail.com) <fonom.info@gmail.com>; AMO (amo@amo.on.ca) <amo@amo.on.ca>; Honourable Sylvia Jones, Solicitor General <sylvia.jones@pc.ola.org>; Norm Miller, MPP <norm.miller@pc.ola.org>
Subject: Oversight Boards for OPP Detachments

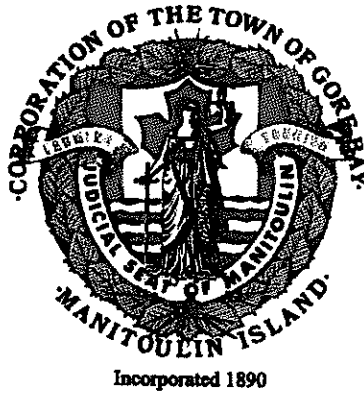
Please be advised that at its July 7, 2020 meeting, Town of Parry Sound Council passed the following Resolution 2020 - 073:

WHEREAS Council for the Corporation of the Town of Parry Sound received resolutions from the Municipality of McDougall and the Township of the Archipelago regarding oversight boards for OPP Detachments, and
WHEREAS correspondence dated May 14, 2020 from The Federation of Northern Ontario Municipalities (FONOM) regarding issues discussed at their May 13th, 2020 virtual meeting brought attention to the Association of Municipalities of Ontario's (AMO's) Discussion Paper "New Ontario Provincial Police Detachment Boards: Building a Framework for Better Policing Governance";
AND WHEREAS AMO's discussion paper proposes that Northern Ontario District Social Services Administration Boards (DSSAB) replace the current OPP Detachment Boards;
AND WHEREAS the FONOM Board has identified several issues with DSSAB Boards replacing the current Detachment Boards, and recognizes that Community Policing is distinctive to each Municipality;
THEREFORE BE IT RESOLVED THAT the Council for the Corporation of the Town of Parry Sound is in agreement with the opinion of FONOM, and supports the resolutions of the Municipality of McDougall and the Township of the Archipelago, that the current DSSABs would not be the best solution for overseeing the Northern OPP Detachments;
BE IT FURTHER RESOLVED THAT a copy of this resolution be sent to FONOM and its member municipalities, AMO, the Honourable Sylvia Jones, Solicitor General, and Norm Miller, MPP for Parry Sound-Muskoka.

Rebecca Johnson
Clerk
rjohnson@townofparrysound.com

Town of Parry Sound
52 Seguin St
Parry Sound, ON P2A 1B4
T. (705) 746-2101 x220

Municipal Office
15 Water Street
Telephone (705) 282-2420
Fax (705) 282-3076



Postal Box 590
Gore Bay, Ontario
POB 1240

Office of the
Clerk

July 21, 2020

Tracy Macdonald
Assistant Clerk
Town of Orangeville
87 Broadway
Orangeville, ON L9W 1K1

Dear Tracy;

Re: Support of OPP Diversity Training

Please be advised that at a recent Council meeting held on July 13, 2020 Council reviewed your correspondence regarding common training requirements for all members of Police Services in Ontario as it relates to diversity, empathy and use of force.

The Town of Gore Bay supports the town of Orangeville in their efforts to encourage common training requirements to all members of the Ontario Provincial Police Force. Please find attached a certified true copy of Resolution No. 14851 indicating the Town of Gore Bay's support.

Yours truly,

A handwritten signature in black ink, appearing to read 'Stasia Carr'.

Stasia Carr
Clerk
Encl.
SC/cp

cc: The Honourable Sylvia Jones, Solicitor General
AMCTO

THE CORPORATION OF THE TOWN OF GORE BAY

RESOLUTION NUMBER 14851

14851

Moved by Paulie Nodecker

Seconded by Aaron Wright

WHEREAS the Town of Orangeville is requesting support of their motion regarding OPP Diversity Training;

AND WHEREAS they are concerned that although the OPP have indicated they have a comprehensive diversity training program, there may not be the same resources available throughout the province detachments;

AND WHEREAS there is public concern regarding the use of force, such as neck restraints, and oversight;

THEREFORE BE IT RESOLVED THAT Gore Bay Council supports the Town of Orangeville in their efforts to encourage common training requirements to all members of the Ontario Provincial Police Force and they be so advised;

FURTHER this motion be sent to the Solicitor General's Office and be circulated to all Ontario Municipalities.

Carried

THIS IS A CERTIFIED TRUE COPY
OF RESOLUTION NUMBER 14851
ADOPTED BY COUNCIL ON
July 13, 2020


.....
Stasia Carr
Clerk